LOCAL MAP AMENDMENT APPLICATION DISCLOSURE STATEMENT

(Revised February 7, 2019)

State law requires that each and any Applicant for a local zoning map amendment, or Party of Record, who has made a contribution to a candidate for County Executive or County Council of \$500.00 or more, calculated cumulatively for the four-year election cycle either before the filing of the application or during the four-year cycle within which the application is pendent, must disclose the name of the candidate to whose treasurer, political committee, or slate the contribution was made, the amount and the date of the contribution.

A Disclosure Statement must be filed when the application is filed or within two weeks after entering the proceeding by a Party of Record and be updated within 5 business days of any contribution made after the filing of the initial disclosure and before final disposition of the application by the District Council. If more than one contribution is made, please specify in the space provided below each contribution and to whom it was made. If more than one applicant is involved in a single application, each applicant must file this statement.

Subject to the penalties of perjury, I, CORSO DC LLC
(NAME OF APPLICANT FOR LOCAL MAP AMENDMENT
OR PARTY OF RECORD)

HEREBY AFFIRM that the contents of this statement are true to the best of my

knowledge, information and belief, and that: (SELECT EITHER 1 OR 2 BELOW AND CHECK APPROPRIATE STATEMENT)

I. 🗌 I HAV	E made a contribution of
on (FILL	IN DATE (MONTH, DAY AND YEAR) OF CONTRIBUTIONS),
to the fo	llowing candidate's treasurer, political committee, or slate:
(FILL)	IN NAME OR NAMES OF CANDIDATE, OR STATE N/A IF INAPPLICABLE) (If more space is required, use the back of this form.)

2. I HAVE NOT made a contribution requiring disclosure.

SIGNATURE OF DECLARANT

This Statement is filed in compliance with the public ethics requirements of Md. Code Ann, General Provisions, §§5-842 through 5-845; 2014 Md. Laws Ch. 94. A person who knowingly and willfully violates this part is guilty of a misdemeanor and on conviction is subject to a fine not exceeding \$1,000.

For convenience, several definitions in State law are contained on the next page.

Subscribed and sworn to me, a Notary Public for Montgomery County, Maryland Onig AVLJE VICTOR GEORGIA

NOTARY PUBLIC
My Commission Expires: 12 116 2024

PUBLIC TON COMMISSION Expires: 12 116 2024

OFFICE OF ZONING AND ADMINISTRATIVE HEARINGS MONTGOMERY COUNTY, MARYLAND

100 Maryland Avenue, Room 200 Rockville, Maryland, 20850 (240) 777-6660 {Form Revised 2-7-19}

OZAH LMA No. H
Date Certified by Planning
Date OZAH Accepts for Filing
Scheduled Hearing Date

Application for Local Map Amendment to the Zoning Ordinance Montgomery County, Maryland

CORSO DC LLC		
	Name of Applicant(s)	
	y Council for Montgomery County, Maryland, sittle on Regional District within Montgomery County, _ Election District of Montgomery County and kno	, for the reclassification of
Parcel 1, Block 5, "Section 4, Che	evy Chase" subdivision, as recorded at F	Plat No. 9401.
Lot, Block and Subdivision if boundaries confo or a description by metes, bounds, courses and	orm to lot boundaries a subdivision for which a plat is rec d distances, and plat references.	orded among the land records,
located at 7100 Connecticut Avenu		
City, town, village or community and consisting of 12.29 acres	d street number, or if none, the location with respect to nearby	public roads in common use.
Ar	ea in square feet if less than I acre, or in acres if one or more	
from the R-60	Zone to the CRNF-1.5, C-0.25, R-1.25, H	H-70' Zone
Present classification	Requested classification	
Tax account number(s) 07-00464946 Name and address of owner(s), if other th		
List all persons having at least a 5% interopurchasers, optional purchasers and pers	est in property, including those holding mortgages, ons holding mortgages, etc.	, liens, etc., and all contract
Tim Gary, The Sarah P Gary Trus	st, The Gary 2017 Family Trust, and	
Eagle Bank (mortgagee)		
Listed below are the Application numbers to this date on any land lying anywhere walland is located.	s, dates of filing and actions taken on all application ithin the same larger lot, parcel or tract of land in	ns filed within 3 years prior which the above-described
Application Number	Date	Action Taken
•		****

Please note that if previous Local Map Amendment applications were filed for the subject property, filing of subsequent Local Map Amendment applications are limited as specified in Zoning Ordinance §59.7.2.1.G.

I have read the REVISED NOTICE REGARDING LOCAL MAP AMENDMENT APPLICATIONS FILED AFTER MAY 1, 2014 and the CHECKLIST FOR LOCAL MAP AMENDMENT (LMA) APPLICATIONS accompanying this form on OZAH's website, and I am filing herewith all of the required accompanying information. I hereby affirm that all of the statements and information contained in or filed with this Application are true and correct.

StALL	Steven A. Robins
Signature of Attorney - (Plea	ase print next to signature)
Lerch, Early and Brewe	er, Chtd., 7600 Wisconsin Ave., Suite 700, Bethesda, MD 20814
Address of Attorney	
301-657-0747	sarobins@lerchearly.com
Telephone Number	Email Address
7.	9
Signature of Applicant(s) - (Please print next to signature)
CORSO DC LLC	
3424 Peachtree Road	NE, Suite 1780, Atlanta, GA 30326
Address of Applicant(s)	
678-677-8900	Tim@galerieliving.com
Telephone Number	Email Address
Subscribed and sworm before a	the Applicant(s), this 22 day of Splenber, 20 27
EXPIRES GEORGIA 12/16/2024	Notary Public

Payment of appropriate filing fee must accompany this application. See Fee Schedule. Twenty-five percent of the specified fee must be paid directly to the Planning Department when this application is submitted for review of completeness. The remaining 75 per cent of the specified fee and all sign fees must be paid directly to OZAH when the application is fired with OZAH after it has been certified by the Planning Department. No part of such fee shall be refunded unless such negation and amount thereof is allowed under Zoning Ordinance Section 59.7.6.5.B.

Applicant is required to post the property covered by this application within 5 days from acceptance of filing, in accordance with Zoning Ordinance Section 59.7.5.2.C., with a sign or signs to be furnished by the Office of Zoning and Administrative Hearings. An affidavit of posting, as required by the Zoning Ordinance, must be presented at the hearing on the application.

Under Zoning Ordinance §59.7.2.1.B.7, new public notice must be provided for any modification to an application requesting an increase in the area proposed to be reclassified or requesting a change to the zoning classification.



Effective: January 29, 2021

2425 Reedie Drive Wheaton, Maryland 20902 Phone 301.495.4550

Wheaton, Maryland 20902	www.montgomery	planning.org				Fax 301.495.1306
FOREST CONSERVA	ATION PLAN A	PPLICATI	ON	- 1 - 1		
			☑ Preliminary	FCP	☐ Final FCP	□ Amendmen
Date Application Filed:	-			202023415	CL	EAR FORM
An application will not be accepted for review un	L less all required information belo	w and appropriate fees	are provided. If an	item requires me	ore space, attach a sej	parate sheet.
Name of Plan: Corso Chevy Chase						
Size of property tract: 12.29	Acres _535,42	1.00 SI	=			
200-scale Base Map #209NW04			Protection Ar	ea Not with	nin an SPA	
Property Tax Account Number(s) associated with the	plan (8 digits)				
A. 464946 B	C.,		D		E	
F G					J	
Location:						
On 7100 Connecticul Avenue		⁵⁰ feet			lor Street	
Street Na	me		(N,S,E,W,	etc.)	Nearest Inter	secting Street
Subdivision Information: (Con	mplete either A if loca	ated within a red	corded subdi	ivision or F	2)	
A. Lot(s) Block						Plat(e)
B. Parcel Pool Liber F				· Parcel	Liber	Folio
Parcel Liber F						
Primary Contact (Person who we Soltesz, Inc.	ill be the primary contac	t and point perso		ectronic rev	iew process.)	
Company Name		Contact	Person			
2 Research Place, Suite 100						
Street Address Rockville			MD			20850
City		362	State			Zip Code
(301) 948-2750	re	ckgroup	2@501+	eszco	.com	L.p 5525
Telephone Number Fax N	umber E-	maii 👪 🕴				
	N	OTE: This email wi	I be used to cre	ate the ePlar	ns project account	i.
Applicant / Owner, Owner's Re	epresentative, or Contra	nct Purchaser – che	ck applicable (1	written verifi	cation required i	f not the owner)
			Would you lik	e to receive o	Plans notification	ns? * Yes / No
Corso DC, LLC		Grant Eps	ein			
Company Name		Contact	Person			
700 K Street, NW						
Street Address Washington			DC			20001
City			State			Zip Code
(202) 232-3068	gv	e@communitythree.com				2,0 0000
Telephone Number Fax No	ımber E-	mail *required if	checked yes			

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Land Use Report Local Map Amendment Corso Chevy Chase

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I. **Overview**

CORSO DC, LLC (the "Petitioner") is submitting this Local Map Amendment application to rezone the property located at 7100 Connecticut Avenue in Chevy Chase, Maryland (the "Property"). Specifically, the Petitioner requests approval of a Local Map Amendment ("LMA") for the application of a Floating Zone to rezone the Property from the R-60 zone to the Commercial Residential Neighborhood Floating Zone ("CRNF") – CRNF-1.5, C-0.25, R-1.25, H-70'.

As discussed more fully below, the proposed rezoning to the CRNF zone will accommodate the desired redevelopment of the Property with a senior living community with up to approximately 700,000 square feet, including a Residential Care Facility (over 16 persons) containing up to 287 independent dwelling units and 190 assisted living beds and 30 memory care beds, and up to 5,000 square feet of commercial/retail use (which, while primarily intended to serve Project residents, will be made available to the public) (the "Project"). The Project layout and architecture has been designed to ensure compatibility with the surrounding neighborhood. Additionally, the proposed use will satisfy all applicable standards of the Zoning Ordinance and substantially conform with the goals and recommendations of the 1990 Approved and Adopted Bethesda-Chevy Chase Master Plan (the "Master Plan").

There is a significant need for more senior housing in the County, as a whole. As such, the Project provides an important opportunity to develop high-quality senior housing, at varying levels of care, which will serve County residents and allow them to stay in their community, close to family and friends, as they age.

Subsequent to approval of the Local Map Amendment, the Petitioner will seek Site Plan approval from the Montgomery County Planning Board (the "Planning Board") to allow for the redevelopment of the Property.

II. Background

A. Background on Petitioner

Corso DC, LLC is led by a development and operations team that has extensive experience in creating first-class development projects locally and across the country.

Galerie Living is a developer, owner and operator of senior housing facilities across the United States and will operate the senior housing facility on the Property. Galerie Living strives to create "unexpected happiness in life" for seniors, families and communities. Building upon a collection of assisted living residences and communities 20+ years in the making, Galerie Living

has set the standard for the best in senior living across the country. It's core values encourage connection, dignity and joy for residents, families and staff. Given that Galerie is a long-term owner and operator, Galerie is committed to ensuring that every project fulfills the needs of the residents and also is compatible with the surrounding community.

Community Three, a local development company with vast experience in all facets of real estate development is leading the entitlement process for the Project. Community Three and its vast group of industry-leading advisors combines its decades of real estate expertise with seasoned technical ability to create great "places" to live, work, and play. It leverages existing conditions and local input to navigate the balance between a need for progress and a hesitancy for change. Community Three has led dozens of effective redevelopment efforts throughout the County and the greater Washington Metropolitan Area and brings this successful pedigree to this project.

B. Collaboration with the Town of Chevy Chase

The Petitioner has held multiple formal and informal meetings with the Town of Chevy Chase, the municipality in which the Property is located, to solicit feedback on the redevelopment. Through these discussions, the Town of Chevy Chase and its residents have identified several top priorities for the redevelopment, including:

- <u>Traffic Management</u>: avoiding traffic cut-through on surrounding residential streets by limiting vehicular access to Connecticut Avenue;
- <u>Forest Conservation</u>: preserving the existing tree canopy and wildlife environment on the west side of the campus; and
- <u>Balanced Integration</u>: ensuring purposeful and measured pedestrian connectivity and limited shared amenities and programs.

As illustrated in the discussion below, the Petitioner has incorporated these comments into the overall Project. Additional detail on the Petitioner's community outreach efforts is contained in Section IX of this Report.

III. Property Description

A. Site Location and Existing Conditions

The Property is prominently located along Connecticut Avenue, at the southwest corner of the intersection of Connecticut Avenue and Thornapple Street. The Property is more particularly known as Parcel One (1), Block Five (5) in the subdivision known as "Section 4, Chevy Chase" as recorded among the Land Records for Montgomery County, Maryland at Plat No. 9401. The

Property has a net lot area of approximately 535,421 square feet¹ and a gross tract area, including land previously dedicated to public use, of 594,271 square feet.

The Property is a long-standing institutional use. Specifically, the Property is improved with five large, two- and three-story buildings and associated surface parking, most recently operating as the National 4-H Conference Center. Collectively, the existing buildings comprise approximately 250,000 square feet of gross floor area.

The Property was most recently used as a retreat, hotel, conference center, and office space for the National 4-H Council and its guests. Over the past decade, the usefulness of the center diminished as visitors desired greater access to downtown Washington, DC and the cost of maintaining such a facility grew beyond the value of its programs. The existing buildings have resultantly succumbed to years of deferred maintenance and are by many measures, derelict and at the end of their useful life. As a result, the existing buildings will be demolished in connection with the future redevelopment of the Property.

The Project will succeed in redeveloping of the dilapidated existing institutional uses with a compatible, residential-scaled, senior housing community. An existing tree canopy exists along the northern, western and portions of the southern boundaries of the Property. The Project retains this existing canopy, which will continue to provide both a physical and visual buffer from the surrounding homes.

No change is proposed to the existing site access. Vehicular access to the Property will continue to be provided via two, one-way access points along Connecticut Avenue.

B. Zoning and Permitted Uses

This Local Map Amendment requests approval for the application of a Floating Zone to the Property, to rezone the Property from the R-60 Zone to the CRNF-1.5, C-0.25, R-1.25, H-70' Zone.

Sections 5.3.3.A.1 and 3.1.6 of the Montgomery County Zoning Ordinance (the "Zoning Ordinance") permit Retail/Service Establishments up to 5,000 square feet by right in the CRNF Zone. A Residential Care Facility (Over 16 Persons) is permitted as a limited use in the CRNF Zone, subject to compliance with the requirements in Section 3.3.2.E.i of the Zoning Ordinance. The Petitioner will subsequently seek Site Plan approval from the Montgomery County Planning Board, in compliance with the limited use standards.

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¹ The net lot area is based on the ALTA Survey, which reflect an additional 221 square feet of land area, as compared to the underlying Plat.

C. Surrounding Zoning and Land Uses

The Property is a long-standing institutional use that is surrounded by single-family residential uses, zoned R-60, on all sides. The surrounding homes range in size from approximately 3,000 square feet to 5,100 square feet. Additionally, confronting the Property across Connecticut Avenue is the Chevy Chase United Methodist Church, also zoned R-60.

IV. Proposed Development

The Petitioner is proposing to redevelop the Property with a residential-scaled senior housing development. The Project will contain up to approximately 700,000 square feet, including a Residential Care Facility (over 16 persons) containing Independent Living, Assisted Living and Memory Care services, and up to 5,000 square feet of commercial/neighborhood-serving retail use (which, while predominately intended for use by Project residents, will be made publically available), along with associated structured and ancillary surface parking, open space, and amenities. The senior housing component of the Project will provide three levels of care, support, and special assistance to residents 62 years of age and older. Currently the Project is anticipated to include up to 287 independent dwelling units and 190 assisted living beds and 30 memory care beds, with 15 percent moderately priced dwelling units ("MPDUs") (or up to 63 MPDUs)². The co-location of these different senior housing uses on the Property will allow residents to age inplace, by providing a continuum of varying levels of support and care to meet the evolving needs of residents as they age.

The design of this Project is residential in nature and includes several buildings with heights ranging from four- to five-stories, with the taller heights oriented toward the center of the Property and lower heights adjacent to the perimeter of the site. The Petitioner has strategically designed the Project to maintain much of the existing tree canopy along the northern, southern and western property boundaries to preserve the natural screening that exists today. This natural buffering and the resulting building setbacks (which significantly exceed the minimum setbacks required in the CRNF Zone) will provide extensive screening from the surrounding residential uses and ensure compatibility of the Project with the surrounding neighborhood. While this natural buffer will be generally maintained on three sides, the proposed buildings will be appropriate oriented towards Connecticut Avenue to help activate and define this prominent street frontage. As reflected in the Binding Elements, the building heights along Connecticut Avenue will be limited to 60 feet. As shown on the Floating Zone Plan, this height limit will carry into the site for a distances of eighty feet (80') from Connecticut Avenue. The ancillary neighborhood-serving

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² MPDUs are provided for the Independent Living and Assisted Living units (420 total units), as full kitchens will be provided. No MPDUs are required for the Memory Care suites as they do not have kitchens and thus, are not classified as dwelling units.

commercial uses proposed, while predominately intended for use by Project residents, will be located along Connecticut Avenue to also serve as a benefit to the surrounding community.

The Project will provide other private, indoor and outdoor amenities for building residents, and spaces to create opportunities for residents to socialize and host visitors not only within the Property, but with the greater neighborhood at-large. These amenity spaces include, but are not limited to, a small theater, spa, pool, green house, clubhouse, multiple lounges, and various restaurants that serve three-chef prepared meals daily. The Project also will provide formal programs for residents, and coordination of various services, including: transportation services for off-site excursions; wellness programs and services; organized community service and volunteering events; holiday celebrations; and other planned social events. The Project also provides significant landscaping and outdoor amenities for use by the residents, including outdoor walking paths, courtyards, and activity areas.

The design flexibility and allowed uses in the CRNF zone will facilitate this compatible, infill development.

A. Architecture Design

The site layout and building architecture have been designed to be compatible with and complementary to the surrounding residential neighborhoods. The Project follows multiple cues established by the former, National 4-H Conference Center use. The Project presents itself as a new campus — an assemblage of building masses spread throughout the site. This new campus respects the boundaries of its predecessor and preserves the existing and mature tree canopy on the Project's north, west, and south sides. The fragmented massing of the Project allows for this green buffer to extend into the site as well, through a series of open plazas, gardens, and intimate courtyards. Additional elements such as fountains and follies enliven the landscape and bring stimulation and joy to residents and their families. This design promotes the pedestrian over the car by limiting vehicular access and locating all parking below grade.

Further sensitivity has been applied to the architectural language and expression of the Project. To root the Project in the neighborhood, the design incorporates many elements found in the surrounding context: gabled roofs, dormers, oriel and bay windows, chimneys, and a predominantly masonry material palette. These parts are composed into an English-Romantic architecture that is sympathetic to the Colonial Revival, Tudor, and similar vernacular styles in the surrounding neighborhood. While the proposed residential components are a mix of four- and five-stories, the campus also includes one-, two-, and three-story connector and amenity spaces which result in a pleasing composition of buildings at a variety of scales. The Project's height steps down as it approaches the single-family neighborhoods surrounding the Property and incorporates strategies such as bays and recessed balconies to further diminish the scale of the façades. Additionally, the pitched slate roofs hide the top floors, turning them instead into livable attics,

thus lowering the perceptible building height. The façades are enriched with detail and craft, leading to an elevated level of human-scaled design.

While the Project promotes the quality of life of its occupants above all, it includes numerous programmatic elements intended to fully integrate the Project into the broader community. Shopfronts and city home entrances activate a pedestrian-oriented frontage along Connecticut, which, along with a central fountain, draw visitors into the Gatehouse and Central Plaza. Other community amenities are sprinkled throughout the campus in a variety of boutiques, a pool and spa, and a small theater. New exterior paths enhance circulation within the campus and connectivity to the surrounding sidewalks, allowing the project to blend into the neighborhood.

The final building design will be determined during the Site Plan approval process.

B. Open Space

In accordance with the requirements of Sections 5.3.5.D.2.a and 4.5.3.C of the Zoning Ordinance, the Project will include a minimum of 10% (or 53,542 square feet) of public open space on-site. Currently, the Project is anticipated to provide approximately 57,895 square feet (or 10.81%) public open space. As required by Section 6.3.6.B of the Zoning Ordinance, this public open space will abut a pedestrian route, be a minimum of 15 feet wide, include seating and shade, and be in a contiguous space. The proposed public open space is primarily located on the north side of the Property, adjacent to Thornapple Street, adjacent to a proposed sidewalk connection, and along Connecticut Avenue. The proposed open space will provide diverse opportunities for the public to gather and socialize (along Connecticut Avenue) and connect with nature (along Thornapple Street). Given the nature of the Project, a significant amount of additional active and passive open space will be maintained throughout the Project, in excess of zoning requirements.

C. Parking and Circulation

To ensure the Project will minimize adverse impacts on the surrounding neighborhood, the Project will provide adequate parking on-site to accommodate all users of the Property.

Section 6.2.4 of the Zoning Ordinance requires, for a Residential Care Facility, a minimum of 0.5 vehicular parking spaces per dwelling unit or 0.25 parking spaces per bed, plus 0.50 vehicular parking spaces per employee. The Project will have a total of 287 independent living units, 190 assisted living beds and 30 memory care beds, with a maximum of 150 people on staff at any one time. For Retail/Service Establishments, a minimum of 3.5 spaces and a maximum of 6 spaces are required for each 1,000 square feet of gross floor area. The Project will provide up to 5,000 square feet of commercial, Retail/Service uses on-site. As such, utilizing the parking reductions in Section 6.2.3.I, collectively, the Project is required to provide a minimum of 310 parking spaces on-site and a maximum of 532.5 parking spaces. The Petitioner is currently

proposing to provide approximately 503 standard parking spaces plus 42 tandem parking spaces on-site. The parking in the Project will exceed the minimum requirements, with the final parking counts to be determined at the time of Site Plan approval.

The Project will comply with the Montgomery County Department of Permitting Services ("DPS") Loading Space Guidelines. This will be more fully addressed during the subsequent Preliminary Plan and Site Plan approval process.

As previously mentioned, vehicular access to the Property will remain unchanged. Access is currently provided via two one-way curb cuts along Connecticut Avenue, which will continue to serve the Project.

D. Civil Engineering

The Project complies with the following requirements and goals of the CRNF Zone.

1. <u>Natural Resource Inventory/Forest Stand Delineation</u>

The Property is subject to the requirements of Chapter 22A of the Montgomery County Code (the "Forest Conservation Law"). A Natural Resources Inventory/ Forest Stand Delineation ("NRI/FSD") (No. 420222220) was submitted for the Property on May 27, 2022, which denotes certain forested areas, significant trees, and steep slopes on the Property. A Preliminary Forest Conservation Plan has been submitted concurrently with this Application. The Project meets the forest conservation requirements through the placement of 2.94 acres of Category I Forest Conservation Easements on-site.

The Property contains no protected soils, endangered species, or other natural features not mentioned above that would impact development. The site is not located within a Special Protection Area.

2. Stormwater Management Concept Plan

The Project will comply with the requirements of Chapter 19 of the Montgomery County Code. Because the Project will result in more than 5,000 square feet of disturbance, the Petitioner will submit a Stormwater Management Concept Plan prior to submitting the subsequent Site Plan application. The Stormwater Concept must be approved by MCDPS prior to applying for a Sediment Control and Stormwater Management Permit. In accordance with 2010 MDE Stormwater Management Regulations, the site will implement Environmental Site Design ("ESD") practices to the maximum extent practicable.

In order to manage the required stormwater volume, the Petitioner proposes to utilize a mix of stormwater management practices which will include environmental site design features such

4565872.6

as micro-bioretention facilities and permeable pavements, supported in series by underground structural facilities providing water quality and channel protection. The majority of the volume will be managed with micro-bioretention facilities. Permeable pavements are proposed for walkways where appropriate, and micro-bioretention planter boxes are proposed to treat runoff from the roof tops and hardscape in order to achieve the maximum practicable volume. The Stormwater Strategy Plan included in this Application shows the approximate location, number, and size of stormwater management practices required to meet the target ESD. The proposal will be further refined when the Conceptual Stormwater Management Plan is submitted to MCDPS for approval.

It is expected that the proposed layout of the Project will fully accommodate stormwater management facilities that meet/exceed applicable County and State requirements.

3. Sediment and Erosion Control

A Sediment and Erosion Control Plan will be prepared and submitted to DPS for approval after Stormwater Management Concept approval and prior to commencement of construction on the Property.

4. Adequate Public Facilities

The public facilities are adequate to support and service the proposed development. As discussed above, a Site Plan will be filed subsequent to Local Map Amendment approval. As such, the Montgomery County Planning Board ("Planning Board") will be responsible for determining whether Adequate Public Facilities ("APF") exist to support the proposed development of the Property at the time of Site Plan.

a. Traffic

The Property falls within the Orange Policy Area in the current FY 2020-2024 Growth and Infrastructure Policy. An analysis of peak hour person trips generated by the proposed development was performed in accordance with the 2022 update to the Maryland-National Capital Park and Planning Commission's (M-NCPPC) Local Area Transportation Review (LATR) Guidelines. A Traffic Statement prepared by Wells and Associates has been submitted in connection with this Application. The Traffic Statement demonstrates that the public facilities are more than adequate to support and service the Project. As discussed above, the National 4-H Conference Center has existed on the Property for quite some time. Per the LATR Guidelines, "if the proposed use will be replacing an existing land use and that land use was occupied for more than 12 years, the applicant may take credit for the existing site trips based on the current LATR trip generation methodology." The National 4-H Conference Center use generated 285 AM peak hour and 299 PM peak hour person trips, while the proposed Project will generate 164 AM peak

hour and 239 PM peak hour person trips. Accordingly, the proposed use will reduce traffic on surrounding roads by generating 121 fewer AM peak hour person trips and 60 fewer PM peak hour person trips than the longstanding National 4-H Conference Center use. The Traffic Statement is being submitted concurrently with this Land Use Report.

The Property is not located within the boundaries of a Transportation Management District ("TMD"). Accordingly, no Traffic Mitigation Agreement (TMA) is required.

b. Schools

Although the Project provides new residential density, the proposed senior living facility use will not generate any new students. Thus, the Project will have no impact on public school capacity.

c. Other Services

The Property will be served by existing water and sewer mains. The majority of the Property is located within water and sewer categories W-1 & S-1. Water and sewer needs are expected be met by the Washington Suburban Sanitary Commission ("WSSC") through connections to the existing water and sewer lines located in the abutting right-of-ways. WSSC will evaluate the water and sewer capacity through a Hydraulic Planning Analysis.

Electric, gas and telecommunications services are also available to serve the Property. Other public facilities and services – including police stations, firehouses, and health care facilities – are currently available in the vicinity of the Property and will continue to be sufficient following construction of the Project.

In conclusion, the public facilities will be more than adequate to support and service the Project.

V. Master Plan Conformance

The Property is located within the 1990 Approved and Adopted Bethesda – Chevy Chase Master Plan. It is worth noting that this Master Plan is over 30 years old and was intended to look ahead only 20 years (see Master Plan, page 1). Additionally, countywide land use policies and zoning changes have occurred in the years since the passage of the Master Plan. Nonetheless, the Project substantially conforms with the goals and recommendations of the Master Plan, and also is reflective of more current land use policies for the County.

The Master Plan does not include any site-specific recommendations for the Property. At the time, the National 4-H Center was a long-term, fully functioning and stable use, which was not envisioned to change within the lifespan of the Master Plan (*i.e.* 20 years). However, the Master

Plan "endorse[d] housing as the primary future alternative use" if the institutional uses within the Master Plan area were ever redeveloped (*see* Master Plan, page 3).

The Master Plan includes several overarching goals and recommendations which are pertinent to this Project, including an emphasis on the need to meet the housing and service needs of the elderly. The Project promotes the following goals of the Master Plan (*see* Master Plan, page 2):

1. Provide for a balanced housing supply so that persons of varying income levels, age, backgrounds, and household characteristics may find suitable housing appropriate to their needs.

The Project provides diverse housing opportunities on-site that will help to meet the needs of the surrounding community. As discussed in this Land Use Report, the Project includes a variety of unit sizes and layouts, with three levels of care (*i.e.* Independent Living, Assisted Living and Memory Care), to allow residents of the surrounding community to age-in-place. The Project also complies with Chapter 25A of the Zoning Ordinance regarding MPDUs.

2. Protect the high quality residential communities throughout the Planning Area as well as the services and environmental qualities that enhance the area.

The Project layout has been carefully designed to protect and retain the existing tree canopy that exists along the northern, western and southern property boundaries. This natural screening provides a significant physical and visual buffer from the surrounding residential communities, but also serves to protect the environmental features on-site.

3. Protect the natural resources and environmental qualities of the Planning Area.

The Project will preserve and enhance the natural resources that exist on-site and the environmental qualities of the Planning Area. As mentioned, the Project preserves a majority of the existing tree canopy that exists on-site today and will provide for its permanent protection through Category I Forest Conservation Easement(s). The Project also includes the protection of the steep slopes that exist along the western property boundary (as specifically recommended by the Master Plan; *see* page 5) and natural habitats found within these areas. The Project also will provide stormwater management on-site, where no known facilities exist today.

4. Contribute to a strong sense of community and help reinforce community cohesion.

As described in detail in the architectural narrative above, the Project has been thoughtfully designed to be compatible with, and complement, the character of the surrounding residential neighborhood. The proposed building architecture takes queues from the architectural styles prevalent in the surrounding neighborhood, and also incorporates traditional residential design elements to evoke an inviting residential quality of "home." The Master Plan recognizes that "[t]he way we meet the special needs of the elderly…also relates to our sense of a community that cares about its residents." The Project accomplishes this by providing a range of services for residents

ages 62 years and older, which will serve County residents and allow Chevy Chase residents to stay in their community as they age.

The Master Plan also supports "increased housing densities and types, where compatible with nearby properties," (see Master Plan, page 21) and emphasizes the need to meet the housing and services needs of the elderly (which has also been identified as a need County-wide). The Project accomplishes both of these objectives through the redevelopment of this long-standing institutional use with a residential, senior housing development that is compatible with the surrounding neighborhood.

VI. Zoning Ordinance Conformance

Section 5.1.2. - Intent

Section 5.1.2 of the Zoning Ordinance states that Commercial/Residential Floating zones are intended to provide an alternative to development under the restrictions of the Euclidean zones mapped by Sectional Map Amendment. The Project embodies the following specific intentions of the Floating Zones:

- A. Implement comprehensive planning objectives by:
 - 1. furthering the goals of the general plan, applicable master plan, and functional master plans;
 - 2. ensuring that the proposed uses are in balance with and supported by the existing and planned infrastructure in the general plan, applicable master plan, functional master plan staging, and applicable public facilities requirements; and
 - 3. allowing design flexibility to integrate development into circulation networks, land use patterns, and natural features within and connected to the property;

As discussed in detail in Section V of this Report, the Project furthers the goals and recommendations of the Master Plan. The Project is also supported by existing infrastructure and will provide compatible in-fill development in furtherance of smart growth principles. Further, area public facilities will be adequate to accommodate the proposed development. The application of this floating zone to the Property will allow it to be integrated into the existing community and it will enhance the same. It will provide needed additional senior housing and some neighborhood-serving retail (although such "commercial" uses are predominately intended for use by Project

residents). Importantly, the Project will maintain the existing tree canopy and steep slopes that surround the Property to the north, south and west, which will continue to provide a physical and visual buffer from the surrounding neighborhoods.

- *B. Encourage the appropriate use of land by:*
 - 1. providing flexible applicability to respond to changing economic, demographic and planning trends that occur between comprehensive District or Sectional Map Amendments;
 - 2. allowing various uses, building types, and densities as determined by a property's size and base zone to serve a diverse and evolving population; and
 - 3. ensuring that development satisfies basic sustainability requirements.

The proposed Floating Zone will allow the Petitioner the flexibility to redevelop this now derelict, long-standing institutional use with a more compatible mixed-use, predominately residential development. The Project promotes sustainability and smart growth principles through infill redevelopment of the Property, which is already served by existing infrastructure and public transportation. The Project will provide needed, additional senior housing within the Town of Chevy Chase to serve both surrounding residents and the County at large. As discussed in this Statement, the Project has been carefully designed to preserve the existing natural buffers that exist today and to provide compatible building architecture that will complement the surrounding neighborhood.

- *C.* Ensure protection of established neighborhoods by:
 - 1. establishing compatible relationships between new development and existing neighborhoods through limits on applicability, density and uses;
 - 2. providing development standards and general compatibility standards to protect the character of adjacent neighborhoods; and
 - 3. allowing design flexibility to provide mitigation of any negative impacts found to be caused by the new use.

The Project has been carefully designed, with feedback from the Town of Chevy Chase, to ensure compatibility with the surrounding neighborhood. As discussed above, the proposed layout preserves the existing tree canopy and natural screening that exists around the perimeter of the site.

This vegetation provides both a physical and visual buffer. This physical buffer results in side and rear yard setbacks that are substantially greater than what would otherwise be required in the CRNF Zone. Additionally, the commercial uses and walk-up residential units, have been oriented toward Connecticut Avenue, to activate and enliven this major thoroughfare. The Petitioner has designed the building architecture to ensure compatibility with the surrounding neighborhoods, even though the buildings will largely be screened from view from the surrounding residential neighborhood, and primarily only visible Connecticut Avenue.

Section 5.1.3. - Applicability

A. A Floating zone must not be approved for property that is in an Agricultural or Rural Residential Zone:

The Property is zoned R-60 and is not in an Agricultural or Rural Residential Zone.

- B. If a Floating zone is not recommended in a master plan:
 - a. The maximum allowed density is based on the base zone and on the size of the tract as stated in Division 5.3.

Pursuant to Section 5.3.5.A.2, given the Property's R-60 base zone and Tract area larger than 3 acres, the maximum total density allowed on the Property is 1.5 FAR. Within the overall maximum permitted density, both the commercial and residential density are limited to a maximum of 1.25 FAR. The total density proposed by this Project is approximately 1.18 FAR; with the commercial density proposed at approximately 0.01 FAR and residential density proposed at approximately 1.17 FAR, well within the overall density allowed by the Zoning Ordinance.

b. When requesting a Commercial Residential Neighborhood Floating zone for a property with a Residential base zone, the Property must front on a nonresidential street or must confront or abut property that is in a Commercial/Residential, Employment, or Industrial zone; and must satisfy a minimum of 2 prerequisites for each of the categories under Section 5.1.3.D.

The Property fronts onto Connecticut Avenue, a non-residential street. The Application also satisfies at least two pre-requisites in each of the categories as follows:

Category	Prerequisite Choices	Satisfied
Transit &	At least 75% of the site is within 1/4 mile of a	
Infrastructure	Level 3, 1/2 mile of a Level 2, or 3/4 mile of a	
inirastructure	Level 1 transit station/stop.	

	The site has frontage on and vehicular, bicycle,	
	and pedestrian access to at least 2 roads, at least	✓
	one of which is nonresidential.	
	The site is served by existing water and sewer	
	infrastructure that will not require either an	✓
	upgrade to the service line or installation of a	•
	pump station due to the proposed development.	
	All signalized intersections within 1/4 mile of	
	the site boundary are operating below the	
	applicable congestion standard.	
	The project is age-restricted or senior housing,	
	or if proposing development that may generate	
	students, the site must not be in an area that is	
	under moratorium due to school capacity or	./
	result in a school utilization rate greater than	•
	120% because of the proposed development.	
	For any site within 2 school clusters, only the	
	portions of the site that satisfy this requirement	
	can proceed.	
	The site is in a transitional location between	
	property in an existing Residential Multi-Unit,	
	Residential Townhouse, or non-Residential	
	zone and property in a Residential Multi-Unit,	
	Residential Townhouse, or Residential	
	Detached zone.	
	The site is adjacent to a bicyclist route that	
	provides access to commercial services within	✓
	3 miles.	
	The site is adjacent to a route that provides	
	access to an existing or master- planned school	\checkmark
Vicinity & Facilities	within 1/2 mile.	
vicinity & Facilities	The site is adjacent to a pedestrian route that	
	provides access to existing public park and	
	recreation facilities that satisfy a minimum of	
	existing public park and recreation facilities	
	that satisfy a minimum of 30% of the	•
	recreation demand under the Planning Board's	
	Recreation Guidelines, as amended, within 3/4	
	mile.	
	The site is adjacent to a pedestrian route that	
	provides access to an existing grocery store or	
	County-permitted farmer's market within 1/4	
	mile.	
	The limits of disturbance for the development	✓
	will not overlap any stream, floodplain,	

	wetland, or environmental buffer or any slopes greater than 25% or slopes greater than 15% where erodible soils are present. The site does not contain any forest or, if forest is present, the limits of disturbance for the	
	development will not reduce the forest cover to less than an area of 10,000 square feet and width of 35 feet at any point.	✓
Environment & Resources	The site does not contain any rare, threatened, or endangered species or critical habitats listed by the Maryland Department of Natural Resources.	✓
	The site is on land containing contaminated soils and is developed in conjunction with an environmental Voluntary Cleanup Program under the Maryland Department of Environmental Protection.	
	The site is currently developed with more than 75% impermeable surfaces, including paving and roofed-structures, and does not currently provide stormwater management meeting the standards applicable on the date of filing.	

As shown in the table above, and described in more detail below, the Application satisfies a minimum of two (2) prerequisites under each of the three categories listed in Section 5.1.3.D.

i. Transit & Infrastructure

The Property has frontage along Connecticut Avenue, Thornapple Street and Woodside Place, all of which provide pedestrian access to the Property. Vehicular access is restricted to Connecticut Avenue, which is classified as a non-residential street. The Property is currently served by existing water and sewer. The water and sewer needs for the Project will be met through connections to these existing lines. Additionally, the residential component of the Project is agerestricted for residents 62-years of age and older, which has a low vehicular transit load.

ii. Vicinity & Facilities

The Property fronts on Connecticut Avenue, which serves as a bicycle route to the Chevy Chase Lake center. The Chevy Chase Lake center has several existing and proposed commercial services (including medical offices; grocery store; restaurants and other retail shops). The Property is also adjacent to a route that provides access to an existing school, the Chevy Chase Elementary School, within ½ mile. The Property is also adjacent to a pedestrian route that provides access to

the Chevy Chase Local Park within ½ mile and the Jane E. Lawton Community Recreation Center within 3/4 miles, which contain diverse indoor and outdoor recreation opportunities.

111 Environment & Resources

As mentioned above, the Project has been designed to preserve the existing environmental features around the perimeter of the site. As such, the limits of disturbance for the Project will not overlap any stream, floodplain, wetland, or environmental buffer. While there is existing forested areas on the Property, the limits of disturbance for the development will not reduce the forest cover to less than an area of 10,000 square feet and width of 35 feet at any point. Additionally, the Property does not contain any rare, threatened, or endangered species or critical habitats listed by the Maryland Department of Natural Resources.

Section 5.3.2. - Purpose of the CRNF Zone

The CRNF Zone is an appropriate zoning classification for the Property. The intent of the CRNF Zone is to allow mixed-use development at a range of densities and heights flexible enough to respond to various settings. It also allows flexibility in uses, and seeks to provide mixed use development which is compatible with adjacent development. As described previously in this Report, the proposed CRNF Zone facilitates the construction of desirable, additional senior housing at this prominent site, in support of the Master Plan's goal of providing additional housing and services for the elderly. Furthermore, the flexible design standards of the CRNF Zone allow for a Project layout that promotes compatibility with the surrounding fully established neighborhood.

Section 5.3.5. - Development Standards

As the following table illustrates, the proposed Project will satisfy the development standards for standard method of development in the CRNF Zone:

Chapter 59 Section		Permitted/ Required	Provided
5.3.5.A	Density of Development	Established by Floating Zone	CRNF-1.5, C-0.25, R-1.25, H-70'
	(a) Maximum Overall FAR		1.18 FAR (or 700,000 square feet)
	(b) Commercial or Residential Density		0.01 FAR Commercial density (or 5,000 square feet)

	T	T	1.157177
			1.17 FAR Residential
			density (or 695,000
			square feet)
5.3.5.B	Bldg. Height	Established by Floating Zone Plan	70 feet
5.3.5.B	Bldg. Setbacks	Established by Floating	From Public Street:
	(minimum) from the	Zone Plan, except as	15 foot minimum from
	boundary	required by 4.1.8.A (all	Connecticut Avenue
		others set by Site Plan)	(18 feet provided)
			15 foot minimum from
			Thornapple Street (81
			feet provided)
4.1.8.A	Setback Compatibility	Side Yard Setback (from	Side Yard Setback
		residentially improved,	(Minimum): 12 feet
		R-60 Zoned property):	minimum (45 feet
		12 feet required	provided)
		Rear Yard Setback (from	
		residentially improved,	Rear Yard Setback
		R-60 Zoned property):	(Minimum): 30 feet
		30 feet	minimum (45 and 145
			feet provided)
4.1.8.B	Height Compatibility	45 degree angular plane	Complies.
		required, measured form	
		a height equal to the	
		height allowed for a	
		detached house in the	
		abutting R-60 Zone at	
		the required site and rear	
		yard setback line (per	
5.3.5.C	Lot Size (minimum)	Section 4.1.8.A) Established by site plan.	N/A
5.5.3.D	Open Space Provided	•	
	Under Section 4.5.3.C.1		
	(a) Minimum	10% (or 53,520 square	10.8% (or <u>+</u> 57,895
	percentage of net	feet)	square feet)
	lot area devoted		
	to public open		
	space for multi-		
	use, general and		
	apartment		
	building types		

6.5.3	Landscape Screening	Required along southern	Southern Property
	Requirements for an	and western property	Boundary: Complies
	Apartment Building Over 60 Feet in Height or	boundaries (and a small portion of the northern	Western and Portion of
	Multi Use Building Over	property boundary,	Northern Property
	40 Feet in Height	where single family	Boundary: May seek
		residential homes abut)	alternative compliance
			due to Forest
		See Options A, B, C, or	Conservation
		D.	Easements
			Final details to be
			determined at time of
			Site Plan.

VII. Findings for Approval

Pursuant to §59.7.2.1.A. a zoning map change to apply a Floating Zone to an individual property requires approval of a Local Map Amendment. Under §59.7.2.1.E., the District Council must find that the floating zone plan will:

a. substantially conform with the recommendations of the applicable master plan, general plan, and other applicable County plans;

As discussed in Section V above, the Project substantially conforms to the recommendations of the Master Plan.

b. further the public interest;

As described more fully in this Report, the Project will further the public interest by transforming this long-standing (now derelict) institutional site into a residential-scaled senior housing development specifically tailored to serve area residents. The Project has been carefully designed to complement the surrounding neighborhoods, preserve the existing environmental features on-site, and implement the County's land use objectives. The proposed Project will contribute to the diversity of housing options in this area and the County. The Project will serve County seniors and allow the Town of Chevy Chase residents to remain in their community, close to family and friends, as they age.

c. Satisfy the intent, purposes, and standards of the proposed zone and requirements of this Chapter;

As described in section VI of this Report, the Project will satisfy the intent, purpose and specific standards of the CRNF Floating Zone and the Zoning Ordinance. For all the reasons discussed in this Report, the requested Floating Zone is appropriate at this location.

d. Be compatible with existing and approved adjacent development;

The Project will transform this long-standing, institutional use into more compatible residential-scaled senior housing development that will contribute to the diversity of housing in the Town of Chevy Chase. The layout of the Project has been carefully designed to preserve the natural buffer that surrounds the Property, which will continue to provide a physical and visual distance from the surrounding residential homes. A small amount of the amenities provided onsite will be made available for use by the public to provide desirable neighborhood serving commercial uses within walking distances of the surrounding community. As discussed in this Report, these "commercial" uses will be located along Connecticut Avenue, to be easily accessible by residents of the surrounding neighborhoods.

e. Generate traffic that does not exceed the critical lane volume or volume/capacity ratio standard as applicable under the Planning Board's LATR Guidelines, or, if traffic exceeds the applicable standard, that the applicant demonstrate an ability to mitigate such adverse impacts; and

As discussed in this Report, the Petitioner's traffic consultant, Wells + Associates, has prepared a Traffic Statement that confirms the proposed Project will generate 121 fewer AM peak hour person trips and 60 fewer PM peak hour person trips, as compared to the long-standing National 4-H Conference Center use. As such, the Project will not generate any additional traffic and will not have any adverse impacts on the surrounding intersections.

f. When applying a non-Residential Floating zone to a property previously under a Residential Detached zone, not adversely affect the character of the surrounding neighborhood.

The proposed Project will not adversely affect the character of the surrounding neighborhood. In fact, the Project will provide a more compatible use by transforming this long-standing institutional use into a residential-scaled, age-restricted community. Furthermore, as discuss in detail above, the Project's architecture and building layout has been carefully designed to promote compatibility with the surrounding residential communities and the architectural character and scale found therein. The Petitioner is, and will continue to, work closely with the Town of Chevy Chase to ensure compatibility is addressed at all levels.

VIII. Phasing

The proposed development will be constructed in two phases, with the intent to keep the time between phases to a minimum.

IX. Community Outreach

The Petitioner recognizes the importance of community engagement to a successful Project and has embraced it since the inception of the Project. Although no formal community outreach is required, the Petitioner has held many formal community meetings with the Town of Chevy Chase, notably in September 2021, February 2022, and June 2022 where it shared its vision for the Project and answered questions from the Town Council and members of the community at large. The public meetings were webcast, well attended with between 100 and 200 attendees each, and all of the presentations posted to the Town of Chevy Chase's website. In addition, the Petitioner held many smaller meetings with the immediately surrounding neighbors to discuss the Project. The Petitioner also facilitated a "walkinar" at the Property in September 2022 that focused mainly on forest stand delineation, stormwater management and landscaping strategies. The "walkinar" was open to the public and was shared on the Town of Chevy Chase's website calendar.

To further facilitate community interaction and understanding of the Project, the Petitioner invited several of the Town Council Members and members of the Town Council's special committee on the Project to one of its similar projects in Atlanta, GA in April 2022. The Petitioner also provided the Town of Chevy Chase a draft of this Land Use Report and all supporting exhibits in June 2022 for their review and comment prior to the filing of the LMA Application.

In August 2022, and at the request of the Town of Chevy Chase, the Petitioner supplied the Town with thirty-six (36) additional aerial and ground level three-dimensional views of the Project in both summer and winter settings. These views depict the Project in context from 360 degrees and at a variety of ground level points surrounding the Property. They were also posted on the Town of Chevy Chase's website.

The Petitioner also reached out to the adjacent community group, Section Three of the Village of Chevy Chase, and held a virtual meeting with several members of the Village Council and the Village Manager. The Petitioner requested to present the Project at a subsequent public meeting and one was scheduled for July 13, 2022, but was ultimately cancelled by the Village.

Community outreach unquestionably has been and will continue to be one of the Petitioner's top priorities as the Project moves forward with its Local Map Amendment application and other land use entitlement processes. And outreach efforts will by no means end there. The Petitioner fully intends to enhance the relationships it has made with the surrounding communities

and The Town of Chevy Chase throughout the construction phase and ultimately as a productive and valued neighbor in the community.

X. Conclusion

The proposed development conforms to the Intent and Purpose of the CRNF Zone and complies with all Development Standards within the Zoning Ordinance. The Project substantially conforms to the Master Plan's recommendations and promotes many important land use objectives of the County. The Local Map Amendment will facilitate the development of this dilapidated, long-standing institutional use with a more compatible age-restricted residential development that will advance the Master Plan's objectives of providing additional services and housing opportunities for the elderly, as well as the County's policies of smart growth. For these reasons, we respectfully request approval of this Local Map Amendment.



CERTIFICATE OF COMPLIANCE

I do hereby certify, to the best of my knowledge, information, and reasonable belief, that all of the information and data provided with this application is accurate, and all of the features and elements provided on the plans is consistent with the standards of the applicable zone. The certification includes, but is not limited to boundary information, property information and ownership, topography, historic resources, etc. I agree that the submitted plans may be rejected or returned by the Maryland-National Capital Park and Planning Commission if the plans are found to be inaccurate, false or misleading.

Applicant or Applicant's Representative	9/22/22 Date
Print Name: Grant Epstein	
Print Company: Corso DC, LLC	
Print Title: President	
Plan Name: Corso Chevy Chase	
Plan Number	

7100 Connecticut Avenue

Local Map Amendment Notice Mailing List

	Adjoining/Confronting Property Owner	Organization	Mailing Address	City	State	Zip	Block	Lot/Parcel	Tax Account Number
1	AMANDA YVETTE PEREZ	JOHN E MELLYN 3RD	7007 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	P58	07-00458945
2	ERIC A & M S HOWELL		7103 CONNECTICUT AVE	CHEVY CHASE	MD	20815	6	P8, PT LT 9	07-00458967
3	Chevy Chase United Methodist Church INC		7001 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	P13	07-00459040
4	Chevy Chase United Methodist Church INC		7001 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	9, LT 10	07-00459062
	WAFA & H FAHIM		7009 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	57A	07-00459381
6	ROWHEYA A VAN DER MEI-HUSAIN	REVOCABLE TRUST	7105 CONNECTICUT AVE	CHEVY CHASE	MD	20815	6	P9	07-00459767
7	CHRISTOPHER & SHOSHANA LOMBARDI		7011 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	56A	07-00460243
8	ALI R FASSIHI		7107 CONNECTICUT AVENUE	CHEVY CHASE	MD	20815	6	10	07-00460607
9	KATHLEEN ELIZABETH BREN	BENJAMIN BECKWITH BRUNO	3811 TAYLOR ST	CHEVY CHASE	MD	20815	6	P8	07-00461180
10	KEITH HARPER	SHELBY S HARPER	4000 THORNAPPLE ST	CHEVY CHASE	MD	20815	5	10	07-00461668
11	DAVID A VAUGHAN JR	EMILY C VAUGHAN	7021 MEADOW LN	CHEVY CHASE	MD	20815	5	26	07-00461806
12	GREGORY NICKERSON	ANNE H NICKERSON	7101 MEADOW LANE	CHEVY CHASE	MD	20815	5	25	07-00461817
13	DAVID K & S H BERLER		7002 CONNECTICUT AVE	CHEVY CHASE	MD	20815	7	P770, LOT E15 & 16	07-00461874
14	BARBARA NEGRI OPPER TRUSTEE	BARBARA NEGRI OPPER TRUST	7004 MEADOW LN	CHEVY CHASE	MD	20815	25	19	07-00461885
15	ALAN B LANGERMAN	JESSICA H LANGERMAN	6925 WOODSIDE PL	CHEVY CHASE	MD	20815	7	16, PT LT 15	07-00462377
16	CHRISTIAN V BARNETTE		3915 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	10	07-00462504
17	ADAM H ARKEL	SIMIN HO	7015 MEADOW LN	CHEVY CHASE	MD	20815	5	P24, PT LOT 23	07-00462856
18	JILLIAN MARIE GEER	AROON SEHGAL	4002 THORNAPPLE ST	CHEVY CHASE	MD	20815	5	11	07-00463601
	LOUIS I LAPPIN	SARAH L WILSON	7002 VALLEY PLACE	CHEVY CHASE	MD	20815	25	P20	07-00463612
	JOHN H REISS	ELIZABETH E WILNER	7007 MEADOW LN	CHEVY CHASE	MD	20815	6	P9, LT 10	07-00463918
21	DAVID MOSS &	ASHLEY MOSS	6924 WOODSIDE PLACE	CHEVY CHASE	MD	20814	6	1	07-00463997
22	PETER J & MARIA LUISA C SCHMIDT		3907 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	P6, PT LOT 7	07-00464070
23	JEFFREY F & ROCHELLE W KUPFER		7011 MEADOW LN	CHEVY CHASE	MD	20815	5	P24	07-00464172
24	LAURA C ONKEN	WADE T TANDY	7017 MEADOW LN	CHEVY CHASE	MD	20815	5	P22. PT LT 23	07-00464310
	JEFFREY SURRELL	MITRA SURRELL	7008 MEADOW LN	CHEVY CHASE	MD	20815	25	17	07-00464376
26	RICHARD K & CHRISTINE K REED		3909 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	37	07-00464593
	PETER W & E R THOMAS		3903 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	4, PT LOT 5	07-00464775
28	LAUREN PACUIT TRUSTEE	ERIC PACUIT TRUSTEE	4001 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	11, PT LOT 12	07-00465303
29	JILL REV FERGUSON INTER VIVOS TR	DAVID RODMAN HENDERER REV INTER VI	101 SOUTH TRYON ST	CHARLOTTE	NC	28255	5	13	07-00465405
	JON WILKINS	ELIZABETH CAVANAGH	7105 MEADOW LANE	CHEVY CHASE	MD	20815	5	19	07-00465484
31	JOHN W DAVIS	OLIVIA M DAVIS	7006 MEADOW LN	CHEVY CHASE	MD	20815	25	18	07-00466147
32	ANITA KRISHNAKUMAR TUCKER	WALTER R TUCKER	6922 WOODSIDE PL	CHEVY CHASE	MD	20815	6	2	07-00466386
33	HUGO C BARRETT & SHIRLEY HUANG	William Football	3905 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	P5, PT 6	07-00466455
34	F MICHAEL KELLEHER JR	KARIN A KELLEHER	4004 THORNAPPLE ST	CHEVY CHASE	MD	20815	5	12	07-00466604
35	ADA QUATTROCCHI REVOC LIV TR	ADA QUATTROCCHI TRUSTEE	7200 CONNECTICUT AVE	CHEVY CHASE	MD	20815	4	3	07-00466637
	CAROLINE LUISA VAIRA		3810 THORNAPPLE ST	CHEVY CHASE	MD	20815	1	7	07-00468170
	DAVID A & ELIZABETH S BARROWS		7109 CONNECTICUT AVE	CHEVY CHASE	MD	20815	1	8	07-00468410
	ARTHUR S GARRETT 3RD &	KELLY BASHEER	7201 CONNECTICUT AVE	CHEVY CHASE	MD	20815	2	P1	07-00469083
	DAVID M ISRAELITE	MARIE ISRAELITE	3911 THORN APPLE ST	CHEVY CHASE	MD	20815	4	41	07-03818242
	Municipalities within 1/2 mile	Contact	Street	City	State	Zip			
	Chevy Chase Village	c/o Elissa Leonard, Chair	5906 Connecticut Avenue	Chevy Chase	MD	20815	(301) 656-3760	elissa.leonard@chevycl	nasevillagemd.gov
	Chevy Chase Village Section 3	c/o Andy Leon Harney, Manager	P.O. Box 15070	Chevy Chase	MD	20825	(301) 656-9117	villagemanager@chevy	
	Chevy Chase Village Section 3	c/o Andy Leon Harney, Wallage Manager	P O Box 15070	Chevy Chase	MD	20815	(301) 656-9117	villagemanager@chevy	
	Chevy Chase Village Section 3	c/o Susan Manning, Chair	7005 Florida Street	Chevy Chase	MD	20815	(301) 652-0515	gager e tricty	
	Chevy Chase Village Section 5	c/o Ashley Kavanaugh, Town Manager	P.O. Box 15140	Chevy Chase	MD	20815	(301) 986-5481	manager@chevychases	ection5.org
	Chevy Chase Village Section 5	c/o Joseph Galper, Councilmember	3703 Woodbine Street	Chevy Chase	MD	20815	(301) 652-1611	igalper@yahoo.com	
	Town of Chevy Chase	c/o Barney Rush, Mayor	4301 Willow Lane	Chevy Chase	MD	20815	(301) 654-7144	cbaskir@townofchevyc	hase.org
	Town of Chevy Chase	c/o Ronald Bolt, Attorney - Bolt Legal LLC	10410 Kensington Parkway, Suite 222	Kensington	MD	20895	(301) 528-6000	ron@boltlegal.com	
	Town of Chevy Chase	c/o Todd Hoffman, Town Manager	4301 Willow Lane	Chevy Chase	MD	20835	(301) 654-7144	thoffman@townofchev	vchase.org
	Town of Chevy Chase	c/o Town Office, Management Assistant	4301 Willow Lane	Chevy Chase	MD	20815	(301) 654-7144	townoffice@townofche	
	Village of Chevy Chase Section 3	c/o Carolyn Gries, Council Rep Buildings and Streets	7003 Florida Street	Chevy Chase	MD	20815	(301) 718-1737	Commonice with the common contraction of the common contraction co	-, 5110301016
	Village of Martin's Addition	c/o Ronald Bolt, Attorney - Bolt Legal LLC	10410 Kensington Pkwy, Ste 222	Kensington	MD	20815	(301) 528-6000	ron@boltlegal.com	
	vinage of ivial till 3 Addition	of a Manaid Boil, Attorney - Boil Legal LLC	TOTTO NETISTINGTON I'NWY, SIE ZZZ	Kensington	ואוט	20033	(301) 328-0000	TOTION DOTTICE BUTTOUT	

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7100 Connecticut Avenue

Local Map Amendment Notice Mailing List

(Civic, Community, Condominium and HOAs							
r	egistered with MNCPPC	Contact	Street	City	State	Zip		
52 C	Citizens Coordinating Committee on FH	c/o Cynthia Green, Recording secretary					(301) 654-4085	cynthgreen@gmail.com
53 C	Citizens Coordinating Committee on FH	c/o David Forman, Chairperson					(301) 229-6869	davidforman01@gmail.com
54 C	Citizens Coordinating Committee on FH	c/o Harry Pfohl , Vice Chairperson					(703) 861-1688	Harry.CCCFH@gmail.com
55 C	Citizens Coordinating Committee on FH	c/o Judy Throckmorton, Treasurer					(249) 383-5018	jmthrock@gmail.com
56 C	Citizens Coordinating Committee on FH	c/o Melanie Rose White, Past Chair	5500 Friendship Boulevard #2221	Chevy Chase	MD	20815	(301) 675-3154	melanierosewhite@gmail.com
57 C	Citizens Coordinating Committee on FH	c/o Pat Johnson, Corresponding secretary					(301) 652-2476	pdjohnson01@yahoo.com
58 C	Citizens Coordinating Committee on FH	c/o Pete Salinger, List Coordinator					(301) 2259-5570	petersalinger95@gmail.com
59 C	Citizens Coordinating Committee on FH	c/o Stacey Band, At large					(248) 420-0410	staceydwolf@gmail.com
60 E	East Bethesda Citizens Association	c/o Andy O'Hare, President	8002 Kentbury Drive	Bethesda	MD	20814	(301) 656-2813	andy.ohare@yahoo.com
61 E	East Bethesda Citizens Association	c/o Jack Hayes, Treasurer	8305 Kentucky Avenue	Bethesda	MD	20814		treasurer@ebca.org
62 E	East Bethesda Citizens Association	c/o Katya Marin, Vice President	4404 Fairfield Drive	Bethesda	MD	20814		
63 E	ast Bethesda Citizens Association	c/o Melissa Groman, Recording Secretary	4403 Chestnut Street	Bethesda	MD	20814	(301) 652-8933	secretary@ebca.org
64 E	East County Citizens Advisory Board	c/o Rachel Evans, Chair	3300 Briggs Chaney Road	Silver Spring	MD	20904	(240) 777-8414	Eastco.citizen@Montgomerycountymd.gov
65 E	Im Street-Oakridge-Lynn Civic Assn	c/o Bren Lizzio, Secretary	4218 Oakridge Lane	Chevy Chase	MD	20815	(202) 669-4999	bren@brenlizzio.com
66 E	Im Street-Oakridge-Lynn Civic Assn	c/o Dedun Ingram, Vice Chair	4312 Willow Lane	Chevy Chase	MD	20815	(301) 657-3327	idedun@gmail.com
67 F	Hamlet Citizens Association Chevy Chase	c/o Monca Mastal, President	8209 Kerry Road	Chevy Chase	MD	20815	(301) 656-8383	mmastal@mcenearney.com
68 N	Montgomery County Civic Federation	c/o Alan Bowser, Co-President	P.O. Box 1123	Bethesda	MD	20827		alan.bowser@gmail.com
69 N	Montgomery County Renters Alliance	c/o William Roberts, Esq, Chair - Treasurer	P.O. Box 7773-7773	Silver Spring	MD	20907		info@rentersalliance.org
70 N	Montgomery County Renters Alliance Inc.	c/o Matt Losak, Executive Director	P.O. Box 7773-7773	Silver Spring	MD	20907	(301) 588-3987	mattlosak@rentersalliance.org
71 N	Montgomery County Taxpayers League	c/o Edward Amatetti, President					(301) 728-6505	president@mctaxpayersleague.org
72 N	Northern Montgomery County Alliance	c/o Julius Cinque, Chair	22300 Slidell Road	Boyds	MD	20841	(301) 972-1098	
73 R	Riviera of Chevy Chase Condo	c/o Ricardo Luna, Attn Board President	4242 East-West Highway	Chevy Chase	MD	20815		assistant@rivieraocc.com
74 R	Riviera of Chevy Chase Condominium	c/o Brandes Richard, FSR Residential	8701 Georgia Ave. Suite 300	Silver Spring	MD	20910	(703) 941-0818	richard.brandes@fsresidential.com
75 R	Riviera Of Chevy Chase Condominium	c/o Diane Morgan, Primary Contact - Owner	4242 East-West Highway #516	Chevy Chase	MD	20815	(402) 421-8867	presrivieraocc@yahoo.com
76 R	Rollingwood Citizens Association	c/o Glenn Milano, President	3207 Brooklawn Terrace	Chevy Chase	MD	20815	(202) 462-0926	glenn@housenumberlab.com
77 S	Sierra Club - Montgomery County Group	c/o Jennifer Rossmere, Treasurer	P O Box 4024	Rockville	MD	20849		jayrossmere@gmail.com
	Others Required to be Notified	Organization	Street	City	State	Zip		
	ntake and Regulatory Coordination	MNCPPC	2425 Reedie Drive	Wheaton	MD	20902		
70 11	птаке ани кедиатогу соотинатоп	MINORFE	2423 Reedie Dilve	Wileaton	IVID	20902		
L	and Use and Zoning Attorney	Organization	Street	City	State	Zip		
79 S	Steven A. Robins	Lerch, Early & Brewer, Chtd.	7600 Wisconsin Avenue, Suite 700	Bethesda	MD	20814		
80 E	Elizabeth C. Rogers	Lerch, Early & Brewer, Chtd.	7600 Wisconsin Avenue, Suite 700	Bethesda	MD	20814		

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PLANNING DEPARTMENT USE ONLY (E-PLANS)

NRI - FSD CORSO CHEVY CHASE 420222220

BETHESDA (5TH) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND

BRICK RALPH W. KETNER HALL

NATIONAL 4-H COUNCIL **LIBER 4924, FOLIO 22**

535,421 SQ.FT OR 12.2916 AC.

\$ 89°51'54" W 780,52" (RECORD WEST 780.52')

PERIMETER FENCING

TEMPORARY CONSTRUCTION PASEMENT.

SAND AREA
(VOLLEYBALL COURT)

-EXISTING

DAVID K. BERLER AND

BLOCK 7

			DBH	Condition	
No.	Common Name	Scientific Name	(inches)	Rating	Comments
39	Tulip Poplar	Liriodendron tulipifera	31	Fair	vine coverage, landscaped, broken branches, large dead wood
40	Tulip Poplar	Liriodendron tulipifera	28	Fair	vine coverage, leaning, broken branches, small dead wood
41	Tulip Poplar Tulip Poplar	Liriodendron tulipifera Liriodendron tulipifera	27 26	Good Good	small dead wood broken branches
43	Tulip Poplar	Liriodendron tulipifera	35	Fair	large dead wood, vine coverage, cavity at base
44	Tulip Poplar	Liriodendron tulipifera	24	Fair	landscaped, one-sided
45	Tulip Poplar	Liriodendron tulipifera	25	Poor	large dead wood, broken branches, landscaped
46	Red Maple	Acer rubrum	26	Poor	heavy lean, broken branches
47 48	White Pine Red Oak	Pinus strobus Ouercus rubra	24 31	Good Poor	small dead wood, topped broken branches, landscaped, large dead wood, small dead wood
49	London Plane Tree	Platanus acerifolia	35	Good	girdled roots
50			26		landscaped, roots compacted from side walk and road, exposed
50	Willow Oak	Quercus phellos	36	Fair	girdled roots
51	Willow Oak	Quercus phellos	35	Fair	landscaped, roots compacted from side walk and road, exposed
31	WIIIOW Oak	Quercus pnenos	33	гац	girdled roots
52	London Plane Tree	Platanus acerifolia	24	Poor	large cavity at base, wire in trunk, leaning
53	London Plane Tree	Platanus acerifolia	27	Fair	leaning, girdled roots, large dead wood, small cavity at base
54 55	London Plane Tree London Plane Tree	Platanus acerifolia Platanus acerifolia	30 27	Fair Fair	cavity from misssing leader, large dead wood, broken branches vine cover, co-dominant, light cable in trunk
422	London Plane Tree	Platanus acerifolia	25	Good	landscaped, leaning
423	London Plane Tree	Platanus acerifolia	26	Fair	missing leader, landscaped, leaning
424	London Plane Tree	Platanus acerifolia	24	Good	landscaped, small dead wood, leaning
425	London Plane Tree	Platanus acerifolia	28	Fair	landscaped, deadwood, leaning, stressed growth
126	London Plane Tree	Platanaus acerifolia	30	Fair	landscaped, co-dominant, large dead wood, broken leader
427 428	London Plane Tree London Plane Tree	Platanus acerifolia Platanus acerifolia	26 28	Fair Fair	landscaped, large dead wood landscaped, large dead wood, leaning
129	London Plane Tree	Platanus acerifolia	24	Good	landscaped, small dead wood, leaning
130	White Pine	Pinus strobus	28	Poor	vine cover, one-sided, large dead wood
131	White Pine	Pinus strobus	25	Poor	vine cover, one-sided, broken branches, large dead wood
132	White Pine	Pinus strobus	26	Poor	vine cover, one-sided, broken branches, topped
133	White Pine	Pinus strobus	29	Fair	vine cover, lean, large dead wood, slightly one-sided
134	Ornamental Cherry	Prunus avium	30	Poor	vine cover, small dead wood, large dead wood, broken branches,
					exposed/girdled roots, landscaped
135 136	Pin Oak	Quercus palustris	31	Fair	landscaped, small dead wood, large dead wood landscaped, small dead wood, hollow cavity, large dead wood
136 137	American Sycamore American Sycamore	Platanus occidentalis Platanus occidentalis	32 40	Poor Poor	landscaped, small dead wood, hollow cavity, large dead wood large cavity at base, cavities in trunk, large deadwood, landscaped
138	Northern Red Oak	Quercus rubra	26	Fair	large dead wood, small dead wood, landscaped
139	White Oak	Quercus alba	27	Good	large dead wood, small dead wood, landscaped
140	Tulip Poplar	Liriodendron tulipifera	30	Poor	large dead wood, woodpecker holes throughout, leaning
141	Southern Red Oak	Quercus falcata	37	Fair	small dead wood, broken branches, leaning, girdled roots, one-
142	Virginia Pine	Pinus virginiana	26	Poor	leaning, small dead wood, large dead wood, one-sided
143	Tulip Poplar	Liriodendron tulipifera	41 25	Fair	vine coverage, broken branches
144 145	Tulip Poplar Tulip Poplar	Liriodendron tulipifera Liriodendron tulipifera	34	Poor Fair	vine coverage, one-sided, sideways canopy vine coverage, small dead wood, broken branches
146	Bitternut Hickory	Carva cordiformis	26	Good	slightly one-sided from trimming
147	Tulip Poplar	Liriodendron tulipifera	24	Poor	heavy vine coverage, small dead wood, broken branches, slightly
148	Tulip Poplar	Liriodendron tulipifera	35	Good	vine coverage, broken branches, small dead wood
149	White Oak	Quercus alba	34	Good	vine coverage, small dead wood
152	White Oak	Quercus alba	27	Poor	vine coverage, large dead wood, stress growth, one-sided
153	White Oak	Quercus alba	31 32	Fair	small dead wood, large dead wood, slightly one-sided
154 155	White Oak Tulip Poplar	Quercus alba Liriodendron tulipifera	24	Poor Fair	one-sided, broken branches, leaning narrow crown, vine coverage
156	Tulip Poplar	Liriodendron tulipifera	29	Good	small dead wood, broken branches
157	Tulip Poplar	Liriodendron tulipifera	31	Poor	large cavity, broken branches
458	White Oak	Quercus alba	28	Poor	trunk decay, small dead wood, large dead wood, one-sided
459	Tulip Poplar	Liriodendron tulipifera	25	Poor	one-sided, broken branches, large dead wood, small dead wood
460	Tulip Poplar	Liriodendron tulipifera	26	Poor	vine coverage, small dead wood, large dead wood, narrow crown
461	Tulip Poplar	Liriodendron tulipifera	24	Poor	vine coverage, broken branches, narrow crown
462 463	White Oak Tulip Poplar	Quercus alba Liriodendron tulipifera	33 30	Fair Fair	vine coverage, broken branches, small dead wood one-sided, large dead wood, cavity at base
464	Southern Red Oak	Quercus falcata	31	Poor	small dead wood, large dead wood, leaning
165	Tulip Poplar	Lirio dendron tulipifera	29	Good	girdled roots. Recently felled.
166	White Oak	Quercus alba	24	Poor	one-sided, sideways canopy, large dead wood, small dead wood
167	White Oak	Quercus alba	28	Good	vine coverage, small dead wood
168	Black Gum	Nyssa sylvatica	25	Good	small dead wood
169 170	Tulip Poplar Northern Red Oak	Liriodendron tulipifera Ouercus rubra	26 38	Poor	narrow crown, broken branches, small dead wood small dead wood, large dead wood, broken branches
1/0	Normerii Red Oak	Quercus rubra	36	Fair	broken branches, large dead wood, small dead wood, dead
171	Tulip Poplar	Liriodendron tulipifera	30	Poor	branches
172	White Oak	Quercus alba	24	Fair	small dead wood
173	American Beech	Fagus grandifolia	26	Fair	co-dominant, broken branches, small dead wood
74	American Beech	Fagus grandifolia	24	Good	minor vine coverage, broken branches, small dead wood
75	Tulip Poplar	Liriodendron tulipifera	25	Good	small dead wood
76	White Oak	Quercus alba	31	Poor	fungus growing, sideways canopy, vine coverage, small dead
					wood, large dead wood
177	Northern Red Oak	Quercus rubra	28	Poor	broken branches, small dead wood, large dead wood, vine
					coverage large cavity at base, split in trunk, large deadwood, small dead
178	American Beech	Fagus grandifolia	25	Poor	wood, broken branches
179	Tulip Poplar	Liriodendron tulipifera	32	Good	vine coverage, small dead wood
80	Tulip Poplar	Liriodendron tulipifera	28	Fair	broken branches, small dead wood, one-sided
81	Tulip Poplar	Liriodendron tulipifera	29	Fair	vine coverage, one-sided, small dead wood
82	Tulip Poplar	Liriodendron tulipifera	27	Poor	vine coverage, one of two leaders, small dead wood, large dead
					wood, broken branches, narrow crown
183	Tulip Poplar	Liriodendron tulipifera	25	Fair	vine coverage, small dead wood, broken branches, leaning
184	Northern Red Oak	Quercus rubra	50	Fair	vine cover, flared roots, broken branches, large dead wood, small dead wood
185	Tulip Poplar	Liriodendron tulipifera	29	Fair	branch grown into trunk, large dead wood, small dead wood
86	White Oak	Quercus alba	24	Good	small dead wood
187	Tulip Poplar	Liriodendron tulipifera	30	Fair	cavity at base, broken branches, large dead wood
188	Tulip Poplar	Liriodendron tulipifera	38	Good	large dead wood, small dead wood
89	Tulip Poplar	Liriodendron tulipifera	31	Fair	Large dead wood, small dead wood, broken branches
90	American Beech	Fagus grandifolia	24	Good	small dead wood
91	Tulip Poplar	Liriodendron tulipifera	33	Good	vine coverage
92	Elm	Ulmus sp.	27	Fair	co-dominant, leaning, small dead wood, broken branches, large dead wood
93	Tulip Poplar	Liriodendron tulipifera	30	Fair	broken branches, heavy vine cover
194	Red Maple	Acer rubrum	24	Fair	one of two leaders, heavy lean, landscaped
95	Tulip Poplar	Liriodendron tulipifera	27	Good	landscaped
96	Tulip Poplar	Liriodendron tulipifera	25	Fair	small dead wood, vine coverage, large dead wood, landscaped
97	Tulip Poplar	Liriodendron tulipifera	27	Poor	small dead wood, large dead wood, one-sided, cavities in trunk
	Tulip Poplar	Liriodendron tulipifera	26	Good	vine coverage, landscaped
198	Northern Red Oak	Quercus rubra	28	Poor	one-sided, vine coverage, large dead wood, small dead wood,
			25		landscaped
99	American Desert	Market and the second of the second	45	Fair	vine coverage, broken branches, small dead wood, leaning
199	American Beech	Fagus grandifolia Trees on Adiacent F	Property (Estimated Size	e, Condition and Location)
198 199 500		Trees on Adjacent F			
199	American Beech Northern Red Oak		Property (1	Estimated Size	broken branches, leaning, small dead wood, large dead wood, landscaped

FOREST

(0.09 AC)

GREGORY S. NICKERSON AND ANNE H. NICKERSON

PLAT BOOK 2 PLAT NO. 6522

BLOCK 5

CHEVY CHASE

APPROXIMATE

LOCATION

OF PARKING BLOCKS

Summary of Forest Stand 1:

L. 53475 F. 491

CHÉVY CHÁSE

PLAT NO. 9401

PROXIMATE LOCATION

JAPANESE KNOTWOOD

PERIMETER FENCING

Specimen and Significant Tree Table

SPECIMEN TREES:

Excellent High vigor and near perfect health. Structure nearly ideal and free of defects. Form nearly ideal for the species. Good Normal vigor and no significant damage due to pests or pathogens.

Well-developed structure. Form has minor deviations from species norm. Fair Reduced vigor. May have significant twig dieback, defoliation, or discoloration. Possesses a single significant defect or multiple moderate defects. Form may have major deviations from species norm. Poor Unhealthy and declining. Poor vigor and poor foliage density and color.

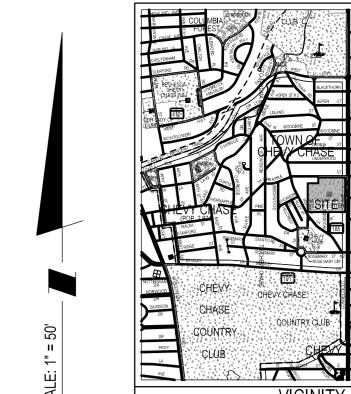
Uncorrectable serious defects. Form is largely abnormal.

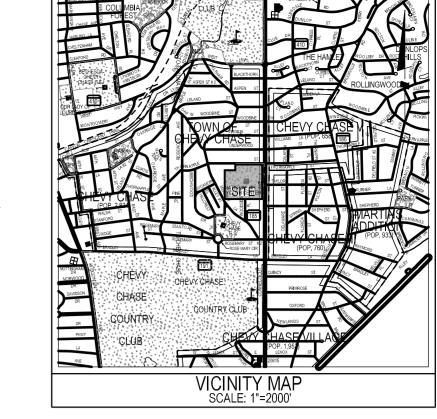
SOIL CHART										
Map Unit Symbol Soil Type		Description Hydio (Yes,		Highly Erodible (Yes/No)	Prime Agriculture Soil					
2UB	Glenelg-Urban (0-8% slopes)	Very deep, well drained soils on nearly level to strongly sloping uplands in the northern part of the Piedmont Province. These soils formed in residum derived from phyllite and micaceous schist. Permeability is moderate	No	No	No					
2UC	Glenelg-Urban (8-15% slopes)	Very deep, well drained soils on nearly level to strongly sloping uplands in the northern part of the Piedmont Province. These soils formed in residum derived from phyllite and micaceous schist. Permeability is moderate	No	No	No					

(NRCS SOIL DATA MART, ACCESSED ON MARCH 3, 2022)

Stand 1 (3.71 acres) This stand is comprised of two substands, is a mature, mixed-hardwood forest dominated by tulip poplar (Liriodendron tulipifera), American beech (Fagus grandifolia), southern red oak (Quercus falcata) and white oak (Quercus alba). The understory contains blueberry (Vaccinium sp.), black cherry (Prunus serotina) and American beech, while the herbaceous layer has occurrences of English ivy (Hedera helix), Wisteria, Barberry (Berberis), Bush Honeysuckle (Diervilla lonicera), Vinca, Porcelain Berry, and Mayapple (Podophyllum peltatum). The stand also contains miscellaneous litter. This stand, which has an average DBH of 21 inches, contains a combined total of ninety-four (94) specimen and significant trees. The Forest Structure Analysis Sheet indicates that this stand has a structure value of 14, which places it in the upper end of the "Good" rating. It has a 91% canopy cover, 17% herbaceous cover, and 2% downed woody material. Stand 1 did not exhibit any evidence of disease or insect infestation and contained a low percentage of invasive species cover of approximately 20% exotior invasive species. Due to the presence of significant environmental features (i.e. specimen trees), Stand 1 should be classified as a Priority 1 Forest Retention Area.
lueberry (Vaccinium sp.), black cherry (Prunus serotina) and American beech, while the erbaceous layer has occurrences of English ivy (Hedera helix), Wisteria, Barberry (Berberis), bush Honeysuckle (Diervilla Ionicera), Vinca, Porcelain Berry, and Mayapple (Podophyllum peltatum). The stand also contains miscellaneous litter. This stand, which has an average DBH of 21 inches, contains a combined total of ninety-four (94) pecimen and significant trees. The Forest Structure Analysis Sheet indicates that this stand has a tructure value of 14, which places it in the upper end of the "Good" rating. It has a 91% canopy cover, 7% herbaceous cover, and 2% downed woody material. Stand 1 did not exhibit any evidence of disease r insect infestation and contained a low percentage of invasive species cover of approximately 20% exotion invasive species. Due to the presence of significant environmental features (i.e. specimen trees),

Acreage of tract	12.29 AC
Acreage of tract remaining in agricultural use	0.00 AC
Acreage of total existing forest	3.71 AC
Total area of wetlands onsite	0.00 AC
Forest in wetlands	0.00 AC
Total area of wetland buffer	0.00 AC
Forest in wetland buffer	0.00 AC
Acreage of existing floodplain	0.00 AC
Forest in 100-year floodplain	0.00 AC
Acreage of total stream buffers	0.00 AC
Forest in stream buffers	0.00 AC







Larry Hogan, Governor Boyd Rutherford, Lt. Governor Jeannie Haddaway-Riccio, Secretary Allan Fisher, Deputy Secretar,

Mr. Nathan Collies Soltesz, Inc. 2 Research Place Rockville, MD 20850

RE: Environmental Review for 7100 Connecticut Avenue, Chevy Chase, Montgomery County,

(0.04 AC)

The Wildlife and Heritage Service has no official records for State or Federal listed, candidate, proposed, or rare plant or animal species within the project area shown on the map provided. As a result, we have no specific concerns regarding potential impacts to such species or recommendations for protection measures at this time. If the project changes in the future such that the limits of proposed disturbance or overall site boundaries are modified, please provide us with revised project maps and we will provide you with an updated evaluation.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at lori.byrne@maryland.gov or at (410) 260-8573.

Environmental Review Coordinato Wildlife and Heritage Service MD Dept. of Natural Resources

ER# 2022.0383.mo

Tawes State Office Building – 580 Taylor Avenue – Annapolis, Maryland 21401 410-260-8DNR or toll free in Maryland 877-620-8DNR – dnr.maryland.gov – TTY Users Call via the Maryland Relay

GENERAL NOTES:

1. The site is classified as Zone R-60. The gross tract area is 12.2916 on one parcel (P000) on Block 5. The site tax account numbers is

2. The site is within the Lower Rock Creek Watershed as is designated

3. This site is not within a Special Protection Area.

4. The site is not within the Maryland Inventory of Historic Properties list. The site is not a known archeological site. The Stephano Lozupone House at the NW corner of Connecticut Avenue and Thronapple Street adjacent to the site is a historic property.

5. No floodplain is shown on MNCPPC GIS floodplain data or per FEMA map 24031C0455D.

6. There are no state or county champion trees on the properties. 7. The April 4, 2022, DNR letter (appearing on this sheet) confirmed that there are no official records for Rare Threatened Endangered Species within the project area. No RTES were observed during the field visits performed by WSSI and MNCPPC Staff. 8. The mapped soil types by NRCS on this site are 2UB Glenelg-Urban

(91.8%) and 2UC Glenelg-Urban (8.2%). 9. Areas of slopes that are 25% and greater have been shown.

10. The site is partially forested. 11. Tree measurements were made using a standard DBH tape

measure at the height of 4.5' above ground. 12. Fieldwork was conducted on February 10, 2022 by Courtney Egolf and Marius Flemmer of Wetland Studies and Solutions, Inc. (WSSI). The report was prepared by Michael Klebasco and Courtney Egolf of Wetland Studies and Solutions Inc. (WSSI).

13. The site is developed and does not contain jurisdictional streams or

14. Property is subject to existing Conditional Use/Special Exception 15. The existing Forest Conservation Exemption #42001364E was confirmed on 6/20/2001 for a building addition and new patio near the

LEGEND:

SITE BOUNDARY

SPECIMEN TREE

ADJACENT PROPERTY BOUNDARY

(GREATER THAN OR EQUAL TO 30" DBH)



——×——× PERIMETER FENCE

EXISTING SOIL LINE AND LABEL EXISTING TREELINE

FOREST # FOREST STAND NUMBER FOREST STAND BOUNDARY

BAMBOO GROWTH

STEEP SLOPES 25% AND GREATER

Q:\42830000\Engineer\Sheet_Files\Env\NRI-FSD\01-NRI-420222220.sht Scale= 50.0000 sf / in. User= JSchwartz PLTdrv= SPDF_Grey_150.pltcfg Pentbl= TEXT_SUB.tbl 9/26/2022 12:55:33 PM

SOLTESZ, INC.

ROCKVILLE OFFICE 2 Research Place, Suite 100 Rockville, MD 20850 P. 301.948.2750 F. 301.948.9067 www.solteszco.com

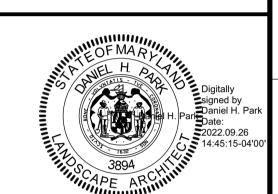
Engineering Surveying **Environmental Sciences**

MISS UTILITY NOTE

RMATION CONCERNING EXISTING UNDERGROUND UTILIT S OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTO ST DETERMINE THE EXACT LOCATION AND ELEVATION OF ITACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR OWN ON THIS PLAN OR TWELVE (12) INCHES WHICHEVER I S. CONTACT THE ENGINEER AND THE UTILITY COMPAN ORE PROCEEDING WITH CONSTRUCTION CLEARANCES I AN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER / DEVELOPER / APPLICANT 700 K Street, NW

Washington, D.C. 20001 (202)232-3068 (T) Contact: Grant Epstein



QUALIFIED PROFESSIONAL CERTIFICATION This plan complies with the current requirements of

ontgomery County's code and the environmental technic

9/26/2022

ETLAND STUDIES AND SOLUTION, INC. 31 BENFIELD BOULEVARD, SUITE L MILLERSVILLE, MARYLAND 21044

PH: (703) 679-5692 FAX: (410) 672-5993 Cegolf@wetlands.com

ZONING CATEGORY: iorizontal: <u>NAD 83/9</u> ertical: NGVD29 CAD STD'S. V8 / NCS

Forest Conservation Plan Under Local Map Amendment to



Notice of Application

FOREST CONSERVATION PLAN TO BE CONSIDERED BY THE MONTGOMERY COUNTY PLANNING BOARD AT A PUBLIC HEARING

Plan Type	Convert the Zone from R-60 to CRNF-1.5, C-0.25, R-1.25, H-70'				
Plan Number	Forest Conservation Plan M-NCPPC #H148				
Name of Plan	Corso Chevy Chase				
Geographic Location	7100 Connecticut Avenue				
Current Zone	R-60				
Number of Proposed Lots/Area and Use(s)	1 Lot/12.29 acres; senior living community, including a Residential Care Facility (over 16 persons) containing up to 287 independent dwelling units, 190 assisted living beds and 30 memory care beds, and up to 5,000 square feet of commercial/neighborhood-serving retail use				
Date	DRAFT				

The above referenced plan application has been filed with the Montgomery County Planning Board and is being reviewed under the provisions of the Montgomery County Code and according to the administrative procedures outlined by the regulations for Chapter 50 and 59 at COMCOR 50/59.00.01 or any interim memo available at montgomeryplanning.org.

A copy of the proposed plan is enclosed. This plan may change because of specific reviews and changes suggested by Maryland-National Capital Park and Planning Commission (M-NCPPC) and other county and state agencies. You may participate in this review by sending written comments at any time to the Intake and Regulatory Coordination Division (IRC), M-NCPPC, 2425 Reedie Drive, Wheaton, Maryland 20902, or by contacting the M-NCPPC lead reviewer. Contact information for the lead reviewer is available by linking to the Development Activity Information Center (DAIC) on the M-NCPPC website at www.montgomeryplanning.org/development.

The Montgomery County Planning Board will also hold a public hearing on the above referenced plan application to obtain public comment. The tentative date for this hearing is ______; however please note that this may change. Written notification of the actual public hearing date will be sent to you no later than ten days before the hearing.

If you have questions pertaining to the plan application, please contact the lead reviewer. If you have general questions about M-NCPPC's process, please contact the Information Counter at (301) 495-4610.

Sincerely,

Steven A. Robins
Attorney for the Applicant

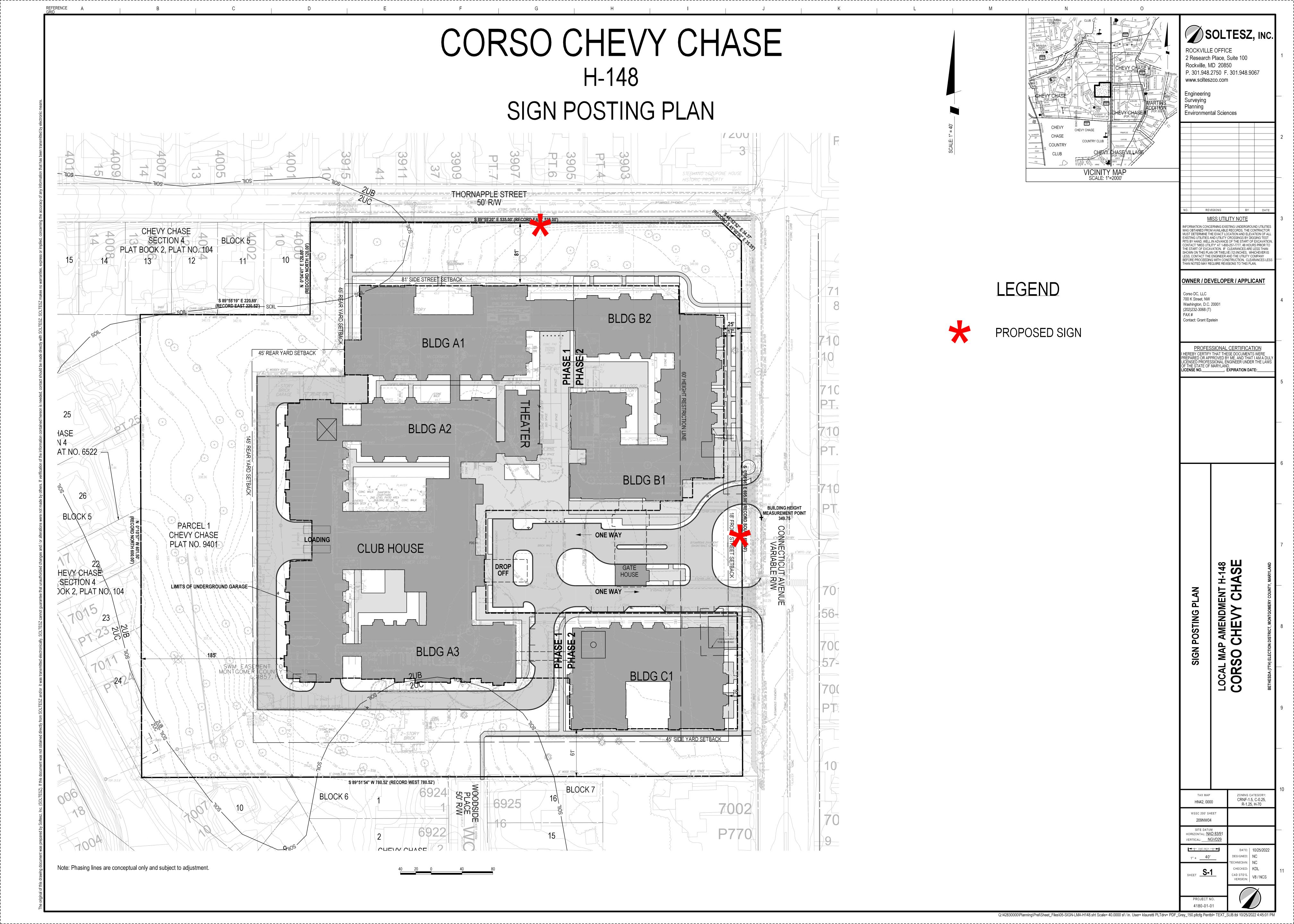
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DEVELOPMENT APPLICATION FOR:

CORSO CHEVY CHASE Preliminary Forest Conservation Plan-H148 Senior Living Community including a Residential Care Facility (over 16 persons) containing up to 287 Independent Dwelling Units, 190 assisted living beds and 30 memory care beds and up to 5,000 s.f. of commercial/neighborhood serving retail use 13.64 acre gross tract area proposed to be re-zoned from R-60 to CRNF-1.5, C-0.25, R-1.25, H-70

For process and hearing information please contact:

The Maryland-National Capital Park & Planning Commission 2425 Reedie Drive, Wheaton, MD 20902 www.montgomeryplanning.org/development (301) 495-4550





September 29, 2022

Marco Fuster, Planner III Montgomery County Planning Department 2425 Reedie Drive, Floor 13, Wheaton, MD 20902

Re: Corso Chevy Chase

Preliminary Forest Conservation Plan – Specimen Tree Variance Request

Dear Mr. Fuster,

On behalf of Corso DC, LLC (Applicant), we are requesting a variance for the critical root zone (CRZ) impact to twenty-seven (27) specimen trees 30 inches or greater in DBH, as required under Section 22A-21 of Montgomery County's Forest Conservation Law; and additionally pursuant to recent revisions to the State Forest Conservation Law enacted by State Bill 666, where it notes that the variance pertains to "trees having a diameter measured at 4.5 feet above the ground of 30 inches diameter or 75% of the diameter of the current state champion tree of that species as designated by the department".

The Applicant is proposing development and associated site improvements for a Residential Care Facility (Over 16 Persons), including Independent Living, Assisted Living and Memory Care, on the subject property located at 7100 Connecticut Ave, Chevy Chase, MD (the "Property").

I. BACKGROUND/APPLICANT'S PROPOSAL

The Property is prominently located along Connecticut Avenue, in the southwest corner of the intersection of Connecticut Avenue and Thornapple Street. The Property is currently improved with five large institutional buildings and associated parking lots, most recently used for the National 4-H Conference Center. The Property has a net lot area of approximately 12.29 acres and is currently zoned R-60. The Applicant is seeking Local Map Amendment approval to rezone the Property to the CRNF-1.5, C-0.25, R-1.25, H-70' zone.

This Applicant proposes demolishing the developed area in the central part of the Property and providing buildings for a senior living community which includes a theatre, clubhouse, and underground parking. The project provides large wooded buffers along the north, west, and south perimeters of the Property that range from 45 to 145 feet wide. The project will be constructed o two phases.

The project requires the removal of eleven (11) specimen trees and critical root zone ("CRZ") impacts to sixteen (16) specimen trees, subject to the variance provision of the Forest Conservation Law.

II. EXPLANATION FOR NEED TO REMOVE THE TREES THAT IS IDENTIFIED IN STATE LAW FOR PROTECTION

A Natural Resource Inventory-Forest Stand Delineation NRI-FSD (#420222220) for this project was approved on 9/28/2022. The specimen trees which will be impacted by the project, subject of this variance request, are shown on the Preliminary Forest Conservation Plan submitted concurrently with this request.

The impact to these specimen trees results from the demolition of existing buildings and proposes the new building and associated site improvements. These existing trees are within the proposed limits of disturbance ("LOD") and will be removed or impacted due to conflicts with grading and demolition of existing buildings and on-site structures.

For reasons described in Section III and IV below, the Applicant respectfully requests the approval for removal of the variance trees listed, in order to utilize the required functional land area available in providing a senior living facility to serve the local and greater communities.

III. GENERAL DESCRIPTION AND JUSTIFICATION FOR TREES FOR WHICH A VARIANCE IS REQUESTED

This Forest Conservation Plan variance request is for the removal of eleven (11) on-site specimen trees and CRZ impacts to sixteen (16) specimen trees, resulting from the construction and demolition activities. The trees identified in this variance request for removal or CRZ impacts are shown on the Forest Conservation Plan. The trees to be removed are either wholly located within the LOD, or the LOD impacts to their CRZs are too large to expect tree survival.

Trees for Removal

The specimen trees proposed for removal are either directly within areas that will be graded to accommodate the development or within the LOD to provide the necessary facilities and infrastructure needed for the functionality of this development.

The trees that are subject to this variance request that are being removed due to direct impact from development, road and access alignment, and facilities includes: **Tree #54** (30" London Plane Tree) in Fair condition, **Tree #426** (30" London Plane Tree) in Fair condition, **Tree #434** (30" Ornamental Cherry) in Poor condition, **Tree #435** (31" Pin Oak) in Fair condition, **Tree #436** (32" Sycamore) in Poor condition, **Tree #437** (40" Sycamore) in Poor condition, **Tree #440** (30" Tulip Poplar) in Poor condition, and **Tree #441** (37" Southern Red Oak) in Fair condition.

The trees that are subject to this variance request that are being removed due to unavoidable and essential utility disturbance includes: **Tree #457** (31" Tulip Popular) in Poor condition, **Tree #462** (33" White Oak) in Fair condition, and **Tree #489** (31" Tulip Popular) in Fair condition.

	Variance Tree Removal									
No.	Forest	Offsite	Common Name	Scientific Name	DBH (inches)	CRZ Area	CRZ Impact	% Impacted	Condition	Remove / Save
54			London Plane Tree	Platanus acerifolia	30	6359	6359	100%	Fair	Remove
426			London Plane Tree	Platanaus acerifolia	30	6359	5297	83%	Fair	Remove
434			Ornamental Cherry	Prunus avium	30	6359	6359	100%	Poor	Remove
435			Pin Oak	Quercus palustris	31	6789	6789	100%	Fair	Remove
436			American Sycamore	Platanus occidentalis	32	7235	7235	100%	Poor	Remove
437			American Sycamore	Platanus occidentalis	40	11304	11304	100%	Poor	Remove

440		Tulip Poplar	Liriodendron tulipifera	30	6359	4556	72%	Poor	Remove
441		Southern Red Oak	Quercus falcata	37	9672	7125	74%	Fair	Remove
457	Х	Tulip Poplar	Liriodendron tulipifera	31	6789	2175	32%	Poor	Remove
462	Х	White Oak	Quercus alba	33	7694	2359	31%	Fair	Remove
489	Х	Tulip Poplar	Liriodendron tulipifera	31	6789	2289	34%	Fair	Remove

Critical Root Zone (CRZ) impacts

There are sixteen (16) variance trees, including four (4) off-site trees that will be impacted by the limit of disturbance. The chart below shows the potential impacts to the Critical Root Zones of these trees, ranging from 2% to 40%. These CRZ impacts are the result of the grading and development on the Property. Tree protection measures will be adopted to protect them from being damaged during and after construction.

				Variance 1	Tree Impac	t				
No.	Forest	Offsite	Common Name	Scientific Name	DBH (inches)	CRZ Area	CRZ Impact	% Impacted	Condition	Remove / Save
43	Х		Tulip Poplar	Liriodendron tulipifera	35	8655	144	2%	Fair	Save
48		Х	Red Oak	Quercus rubra	31	6789	1471	22%	Poor	Save
49		Х	London Plane Tree	Platanus acerifolia	35	8655	3465	40%	Good	Save
50		Х	Willow Oak	Quercus phellos	36	9156	2514	27%	Fair	Save
51		Х	Willow Oak	Quercus phellos	35	8655	1960	23%	Fair	Save
443	Х		Tulip Poplar	Liriodendron tulipifera	41	11876	3342	28%	Fair	Save
445	Х		Tulip Poplar	Liriodendron tulipifera	34	8167	58	1%	Fair	Save
448	Х		Tulip Poplar	Liriodendron tulipifera	35	8655	1663	19%	Good	Save
449	Х		White Oak	Quercus alba	34	8167	185	2%	Good	Save
453	Х		White Oak	Quercus alba	31	6789	2240	33%	Fair	Save
454	Х		White Oak	Quercus alba	32	7235	773	11%	Poor	Save
464	х		Southern Red Oak	Quercus falcata	31	6789	1043	15%	Poor	Save
476	Х		White Oak	Quercus alba	31	6789	330	5%	Poor	Save
488	х		Tulip Poplar	Liriodendron tulipifera	38	10202	3507	34%	Good	Save
491	Х		Tulip Poplar	Liriodendron tulipifera	33	7694	2554	33%	Good	Save
493	Х		Tulip Poplar	Liriodendron tulipifera	30	6359	1219	19%	Fair	Save

Mitigation

Out of the eleven (11) trees that are being removed, eight (8) of them are outside of forest stand areas. The remaining three (3) are being removed within the forest stand for various reasons including storm drain outfall pipe and sewer connection. Together, all eight (8) trees to be removed equate to a conglomerated DBH of 260 inches. This results in a mitigation requirement of sixty-five (65) inches (calculated at a rate of 1" caliper replacement for every 4" DBH removed). This yields approximately nineteen (19) trees at 3.5" caliper each. All of these replacement trees will be provided on-site.

	Variance Tree Mitig	ation Planting Requirements	
No.	Common Name	Scientific Name	DBH (inches)
54	London Plane Tree	Platanus acerifolia	30
426	London Plane Tree	Platanaus acerifolia	30
434	Ornamental Cherry	Prunus avium	30
435	Pin Oak	Quercus palustris	31
436	American Sycamore	Platanus occidentalis	32
437	American Sycamore	Platanus occidentalis	40
440	Tulip Poplar	Liriodendron tulipifera	30
441	Southern Red Oak	Quercus falcata	37
Total DI	BH Removed	1	260.0
Total Ca	lliper Replacement Required	(1" caliper/4" DBH)	65.0

IV. SATISFACTION OF THE CRITERIA LISTED IN SECTION 22A-21(b) OF THE MONTGOMERY COUNTY CODE

Section 22A-21(b) lists the application requirements for tree variance requests. The following narrative demonstrates how the requested variance is justified under these criteria. This Forest Conservation Plan variance request is for eleven (11) on-site specimen trees being removed and sixteen (16) specimen trees being impacted, but not requiring removal.

(1) Describe the special conditions peculiar to the property which would cause the unwarranted hardship;

The Property is a very large site that has long-since been used as an institutional use. The Property is surrounded by single-family residential homes on all four sides. The Applicant proposes to redevelop the dilapidated existing institutional use with a compatible, residential-scaled, senior housing community.

Specifically, the Town of Chevy Chase has formally identified environmental priorities for preserving existing forest and tree canopy. More specifically, preservation of the forest stand within the 81' setback from Thornapple Drive to the north, and the forest stand along the western and southern portions of the site. To ensure compatibility, and satisfy the requests of the Town of Chevy Chase, the project has been strategically designed to retain the existing tree canopy along the northern, southern and western Property Boundaries, which will continue to provide both a physical and visual buffer from the surrounding homes. The project accomplishes this by utilizing only the existing entrances off Connecticut Avenue and confining the development area to that portion of the Property previously occupied with buildings and parking.

As part of the functional needs of the senior living facility, amenity spaces are required in close proximity to all residential units, to provide easy access for the use and enjoyment of the senior residents. These spaces are provided by a series of courtyards between each wing of the building. In order to preserve the forest standard and tree canopy around the perimeter of the Property, parking for the project will be located entirely below grade. To provide for efficient circulation and access to each of the buildings, a single-slab below-grade structured parking is required. This continuous parking structure will ensure safe and efficient access to each of the eight elevator cores, which are necessary to provide essential services for the residents of the facility. As previously mentioned, the building, parking, and utilities have been oriented toward the center of the Property and along the Connecticut Avenue frontage, to preserve and respect the existing forest stands on the northern, southern and western property boundaries, and to avoid specimen trees contained therein. The tree removals and CRZ impacts proposed are necessary to accommodate the demolition of the dilapidated existing buildings and construction of the project.

Eight specimen trees that are located between the existing buildings are proposed to be removed due to the configuration of the project and presence of a continuous below-grade parking structure. There are also impacts to specimen street trees along Connecticut Avenue. Those trees with careful preservation and treatment, are proposed to be impacted but saved. The remaining tree impacts to Tree 489, Tree 462 and Tree 457 are impacted due to utility impacts related to the proposed development, necessary to convey storm drainage safely off the Property at the low point of the site.

The existing dilapidated institutional buildings on the Property that must be demolished to accommodate this more compatible, residential-style project, as well as the presence of existing forest stand and tree canopies around three sides of the Property that the Applicant seeks to preserve, are special conditions that are peculiar to this Property that would result in an unwarranted hardship to the Applicant if the request for removal for eleven (11) specimen trees an impacts to sixteen (16) specimen trees is not granted.

(2) Describe how enforcement of these rules will deprive the landowner of rights commonly enjoyed by others in similar areas;

Without the allowance of variance tree removals and CRZ impacts, redevelopment of this Property with this project would not be feasible. The Applicant would not be able achieve an economy of scale to support and sustain this desirable senior living community, including the necessary site amenities and services that are essential to this more compatible residential use. More than 90% of the proposed development is proposed on top of land already occupied by infrastructure of buildings, parking, and utilities. The 0.57 acres of forest removed is almost entirely being removed solely to support utility connections to existing utilities and infrastructure off-site and removal of existing infrastructure on-site. It would also deprive the Applicant of opportunities reasonably enjoyed by others with similarly situated properties. Any redevelopment of the Property would require similar levels of disturbance. As such, the ability to develop the Property for a use allowed in the zone would be eliminated with further encumbrances to utility connections.

Without the granting of the variance, many of the environmental benefits conferred by the proposed development would be lost. The majority of existing forest is proposed to be protected in a Category I Forest Conservation Easement and the Applicant is also proposing clean-up to remove invasive species and debris, and provide needed open space and protected forest. In addition, the Property is to be graded to provide water quality on-site and structured parking which will help slow runoff in forested areas and provide cleaner water on and off-site.

(3) Verify that state water quality standards will not be violated or that a measurable degradation in water quality will not occur as a result of the granting of the variance;

The Property is located in the Lower Rock Creek Watershed. The existing site condition is mostly impervious surfaces on concrete and asphalt in the center of the Property, with forest on the northern, southern, and western perimeters of the Property. There are no streams, or associated stream valley buffers, on the Property. As such, the tree removals and CRZ impacts requested will not result in any measurable degradation in water quality. Additionally, the proposed project exceeds the forest conservation worksheet requirement by 0.43 acres by reducing the amount of forest removal on-site. The remaining forest will be placed inside of a Category I Forest Conservation Easement and remove any non-native invasive plants to provide a more natural environment.

In addition, a proposed stormwater management design will meet the latest State and local stormwater management standards, where none exists today. These standards will minimize the outfall flow and reduce the possibility of erosion. The Applicant is confident that the stormwater facilities installed in concurrence with the new development will not just protect the current water quality, but enhance it. As such, the granting of this variance will not violate State water quality standards.

The granting of this variance request will not violate State water quality standards or cause measurable degradation in State water quality standards.

(4) Provide any other information appropriate to support the request.

The Applicant believes the information set forth above is adequate to justify the requested variance to remove the specimen trees on the Property. However, it is important to also emphasize the mitigation efforts that the Applicant is proposing, as follows:

- Mitigation tree plantings -- While the proposed development necessitates the impact to 27 specimen trees, it will mitigate a portion of those trees on-site.
- Exceeding the Forest Conservation Easement requirements The Property is retaining 3.14 acres
 of forest on-site which is 0.43 acres above the forest retention threshold for mitigation.
- Additional plantings The Applicant is proposing to remove the bamboo and other invasive species and debris on-site, and supplement with natural plantings and buffering trees to restore the forest area to more native and natural state.
- Reduction in grading In order to respect the priority forest, the Applicant proposes the use of a
 retaining wall system, thus minimizing disturbance of specimen trees within the priority forest
 areas. The location of buildings was purposefully located to limit disturbance and construction
 impacts on the larger variance trees in good and excellent condition and trees within the priority
 forest areas.

Furthermore, the Applicant's request for a variance complies with the "minimum criteria" of Section 22A-21(d) for the following reasons:

- 1. This Applicant will receive no special privileges or benefits by the granting of the requested variance that would not be available to any other applicant. As discussed above, the removal of the trees is necessary to support a viable project and facilitate the replacement of the dilapidated institutional use with a more compatible senior living community. As also discussed above, the Variance will prevent the deprivation of rights to the Applicant that have been enjoyed by others similarly situated.
- 2. The variance is not based on conditions or circumstances which result from the actions by the Applicant. As discussed above, the location and configuration of the existing physical features of the Property necessitate the removal of the identified specimen trees in order to accommodate the proposed facilities.
- 3. The requested variance is not related in any way to a condition relating to land or building use on an adjacent, neighboring property.

Thank you for your consideration of this Tree Variance Request. We believe that the supporting information provided with this letter clearly demonstrates that the grant of the Variance pursuant to Section 22A-21(b) of the Code is appropriate. Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

SOLTESZ

Keely D. Lauretti

Deanette

CORSO CHEVY CHASE LOCAL MAP AMENDMENT H148 FLOATING ZONE PLAN BLDG B2 BLDG A1 45' REAR YARD SETBACK BLDG A2 AT NO. 6522 MEASUREMENT POINT BLOCK 5 CHEVY CHASE PLAT NO. 9401 CLUB HOUSE LIMITS OF UNDERGROUND GARAGE-OK 2, PLAT NO. 104 Such commercial establishments shall be made available to the general public. BLDG A3 BLDG C1 8. The Applicant shall comply with all applicable stormwater management regulations. A Town of Chevy \$ 89°51'54" W 780.52' (RECORD WEST 780.52') BLOCK 7 BLOCK 6 7002 12. The Applicant shall provide site lighting according to applicable County regulations and coordinated so as minimize impact to adjacent properties. Note: Phasing lines are conceptual only and subject to adjustment. provide reasonable interim measures, including landscaping, to ensure the attractiveness of temporary, undeveloped assigns, a Declaration of Covenants that will include the binding elements included in the approved Local Map Amendment prior to approval of the Certified Site Plan for the property.

Corso Chevy Chase (4H) Data Table Permitted/Required Zoning Ordinance Development Standards Per Zoning ordinance in effect on October 29, 2 Previous Dedication classified as Dwelling Units and 30 memory care beds) 891,406 GFA (1.50 FAR) 891,406 GFA (1.50 FAR) independent Living Units and Assist iving suites classified as dwelling units with Chapter 25A, either on-site or via an Alternative Compliance Agreement Maximum Building Height (59.4.5.4) (Average median height) 60' (4 stories) along Connecticut Avenue within 80' of the property lin Height Compatability: (59.4.5.4.A.4 / 4.1.8.B) property in an Agricultural, Rural Residential Townhouse zone that is acant or improved with an agricultura inthe abutting zone at the seback line 57,895 s.f. or 1.33 acres (10.81%) Setback Compatibility: (59.4.5.4.A.4 / 4.1.8) mes the minumum side setback required for a detached house on the abutting The minimum rear setback is equal to tims the minimum rear setback required the screening width is greater than the 4.1.8.A.2, the minimum setback equal Front Setback (Connecticut Avenue) Side Street Setback (Thornapple Street) Set by Floating Zone Plan 15' Min. 81' Provided 12' Min. (45' Provided) Set by Floating Zone Plan (in comp 30' Min. (45 and 145' Provided) Parking Requirements: (59.6.2) To be finalized at Site Plan bed, 1 per DU, 0.5 per Employee and Max. 0.25 per bed, 1 per DU, 0.5 per units, 30 memory care beds, and 150 employees) 25 spaces @ 5 spaces per 1000 s 503 spaces plus 42 tandem spaces 5 spaces max. (5 spaces) Set at Site Plan 0.25 bicycle space per Multi-Unit DU (up to 5 95% of spaces for long-term use 45 spaces (phase 1)

1. Use of the property will be limited to age-restricted housing and ancillary commercial establishments. No more than 5,000 square feet of commercial use, with no single establishment larger than 2,500 square feet shall be permitted.

2. Vehicular access to and from Thornapple Street, Woodside Place, and Meadow Lane and the property shall be prohibited. Vehicular access shall be limited to Connecticut Avenue. The Applicant will conduct a traffic study related to the property and work with the State Highway Administration and the Town of Chevy Chase to determine the need for traffic-related measures along Connecticut Avenue.

3. The Applicant shall provide on-site parking for all property employees and visitors, including during peak use and

4. The Applicant shall provide, at no cost to the Town of Chevy Chase, an enclosed and secure garage space of approximately 1,300 square feet. Five (5) additional and adjacent parking spaces shall be provided for use by Town of Chevy Chase employees. The Applicant shall provide the Town of Chevy Chase a temporary enclosed and secure garage of approximately the same size during construction.

5. The Applicant shall place areas, as more accurately depicted on the Final Forest Conservation Plan, generally along the western and northern property lines, in a Category I Conservation Easement. The Town of Chevy Chase forester shall be included in proceedings regarding the creation and maintenance of the Category I Conservation Easement. 6. The Applicant shall construct new pathways connecting the existing sidewalks on Thornapple Street and Woodside Place with Connecticut Avenue. A public walking path through the proposed Category I Conservation Easement, as applicable, generally located along the western property boundary, shall be prohibited.

7. The Applicant shall maintain minimum building setbacks as shown on the Floating Zone Plan, including a maximum building height of sixty feet (60') for a distance of eighty feet (80') from Connecticut Avenue.

Chase-appointed engineer shall be included in the development of stormwater management plans and strategies for

9. The Applicant shall locate and/or screen refuse storage and collection areas and loading and service areas so as to minimize view and noise from adjacent property boundaries.

10. The Applicant shall install planting materials that are primarily native species. The Applicant shall remove the bamboo on the south side of the property, in accordance with all applicable Town of Chevy Chase and County regulations. Sufficient planting medium depth shall be installed above garage areas to support canopy and shade

11. The Applicant shall install an non-deciduous tree screen along south property line outside of the Category I Conservation Easement. Foundation planting shall be installed where garage walls extend above grade.

13. The Applicant, in concert with the Town of Chevy Chase, shall prepare and codify a set of construction rules and regulations aimed at minimizing, to the greatest extent practicable, the impact of construction activities on adjacent properties and Town of Chevy Chase residents. The Applicant shall maintain a system for public notification of construction activities through a regularly-updated distribution method prior to and during construction activities. 14. The Applicant shall minimize, to the greatest extent practical, the duration between any construction phases and

15. Vinyl siding shall be prohibited on all new buildings. 16. The Applicant shall execute and record among the land records, so as to be enforceable against all successors and

AMENDMENT 0 TAX MAP CRNF-1.5, C-0.25, HN42, 0000 R-1.25, H-70 WSSC 200' SHEET vertical: NGVD29 ONE INCH 🕂

4180-01-01

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SOLTESZ, INC.

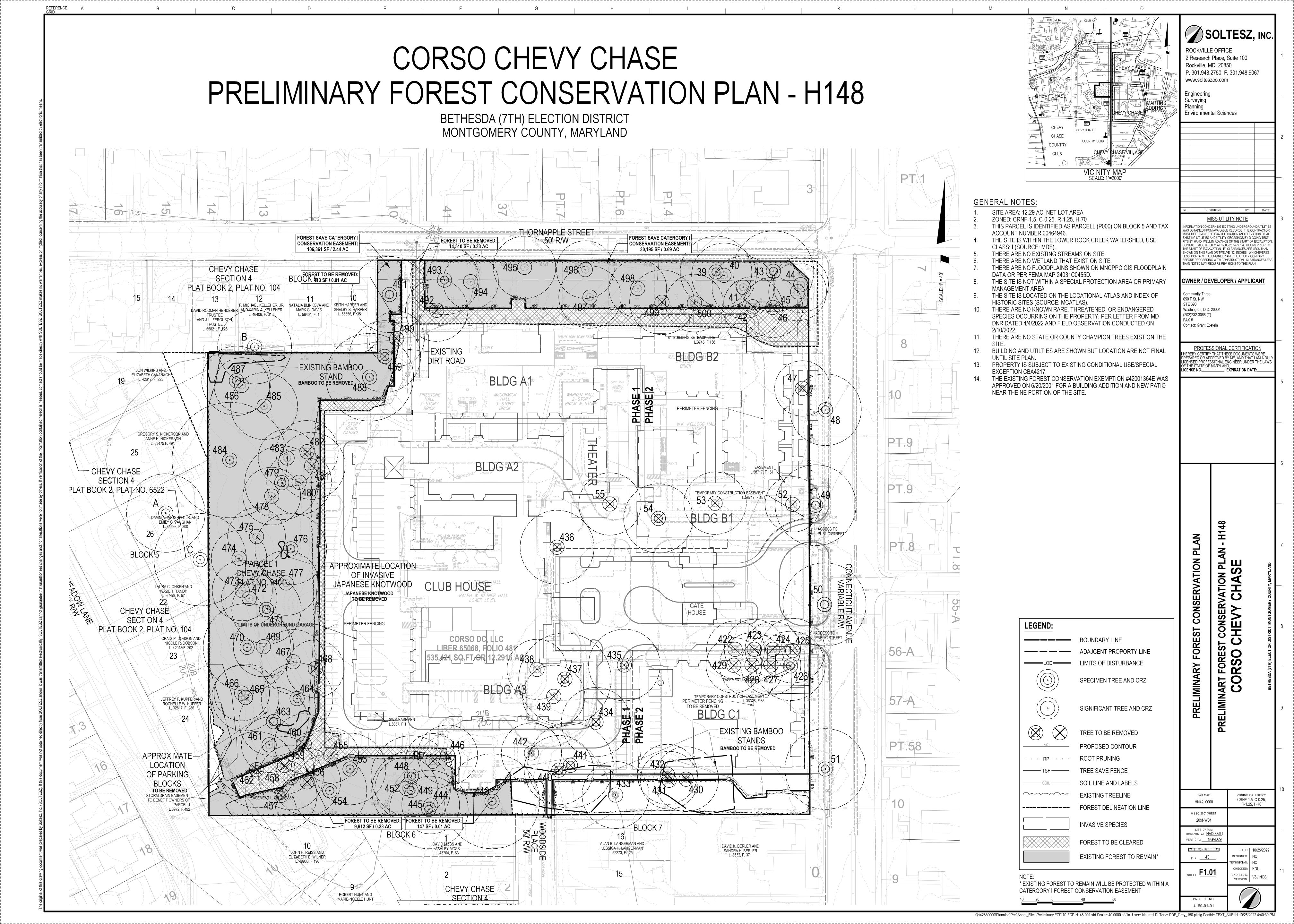
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OWNER / DEVELOPER / APPLICAN

700 K Street, NW Washington, D.C. 20001

(202)232-3068 (T)

Contact: Grant Epstein



FOREST CONSERVATION WORKSHEET CORSO CHEVY CHASE **NET TRACT AREA:** 12.29 A. Total tract area .. 0.00 B. Additions to tract area (Off-Site Work, etc.; construction required by this plan). 0.00 C. Land dedication acres (parks, county facility, etc.) ... 0.00 D. Land dedication for roads or utilities (construction not required by this plan) ... 0.00 E. Area to remain in commercial agricultural production/use ... 0.00 F. Other deductions (specify) 12.29 G. Net Tract Area ... LAND USE CATEGORY: (from Chapter 22A-3. Definitions) Input the number "1" under the appropriate land use, limit to only one entry. IDA 1.84 G. Afforestation Threshold. 2.46 H. Conservation Threshold .. **EXISTING FOREST COVER:** 3.71 I. Existing forest cover 1.87 J. Area of forest above afforestation threshold= 1.25 K. Area of forest above conservation threshold= BREAK EVEN POINT: L. Forest retention above threshold with no mitigation= 1.00 M. Clearing permitted without mitigation= PROPOSED FOREST CLEARING: 0.57 N. Total area of forest to be cleared. 3.14 O. Total area of forest to be retained .. PLANTING REQUIREMENTS: 0.14 P. Reforestation for clearing above conservation threshold= 0.00 Q. Reforestation for clearing below conservation threshold= 0.68 R. Credit for retention above conservation threshold= 0.00 S. Total reforestation required. 0.00 T. Total afforestation required .. 0.00 U. Credit for landscaping (may not exceed 20% of "S")= V. Total reforestation and afforestation required=

	Forest Conservation	n Data Table	
	Number of Acres		
Tract	12.29		
Remaining in Agricultural Use	-		
Road & Utility ROWs1	-		
Total Existing Forest	3.71		
Forest Retention	3.14		
Forest Cleared	0.57		
Land Use & Thresholds ²			
Land Use Category	MDP	ARA, MDR, IDA, HDR, M	DP, or CIA.
Conservation Threshold	20%	percent	
Afforestation Threshold	15%	percent	
	Total Channel	Average Buffer	
	Length (ft)	Width $(ft)^3$	
Stream(s)	-	-	
Acres of Forest in	Retained	Cleared	Planted
Wetlands	-	-	-
100-Year Floodplain	-	-	-
Stream Buffers	-	-	-
Priority Areas	_	_	-

Only Road or Utility ROWs not to be improved as part of development application.

Information from FC Land Use Categories & Thresholds document

Measured from stream edge to buffer edge.

37	Б	orr t	G N	Specimen and Signifi	DBH	Table CRZ	CRZ	0/7	Condition	Remove
No.	Forest	Offsite	Common Name	Scientific Name	(inches)	Area 5520	Impact	%Impacted	Rating	Save
40 41	X		Tulip Poplar Tulip Poplar	Liriodendron tulipifera Liriodendron tulipifera	28 27	5539 5150	0 561	0% 11%	Fair Good	Save Save
42	X		Tulip Poplar	Liriodendron tulipifera	26	4776	2265	47%	Good	Remov
44	X		Tulip Poplar	Liriodendron tulipifera	24	4069	132	3%	Fair	Save
45 46	X		Tulip Poplar Red Maple	Liriodendron tulipifera Acer rubrum	25 26	4416 4776	587 2334	13% 49%	Poor Poor	Save
47			White Pine	Pinus strobus	24	4069	2641	65%	Good	Remov
52 53			London Plane Tree London Plane Tree	Platanus acerifolia Platanus acerifolia	24 27	4069 5150	3475 5150	85% 100%	Poor Fair	Remov
55			London Plane Tree	Platanus acerifolia	27	5150	5150	100%	Fair Fair	Remov
422			London Plane Tree	Platanus acerifolia	25	4416	4416	100%	Good	Remov
423			London Plane Tree	Platanus acerifolia	26	4776	4776	100%	Fair	Remov
424 425			London Plane Tree London Plane Tree	Platanus acerifolia Platanus acerifolia	24 28	4069 5539	4069 4521	100% 82%	Good Fair	Remov
427			London Plane Tree	Platanus acerifolia	26	4776	4776	100%	Fair	Remov
428			London Plane Tree	Platanus acerifolia	28	5539	5539	100%	Fair	Remov
429 430			London Plane Tree White Pine	Platanus acerifolia Pinus strobus	24 28	4069 5539	4069 2783	100% 50%	Good Poor	Remov
431			White Pine	Pinus strobus	25	4416	2122	48%	Poor	Remov
432			White Pine	Pinus strobus	26	4776	2895	61%	Poor	Remov
433 438			White Pine Northern Red Oak	Pinus strobus Ouercus rubra	29 26	5942 4776	1281 4776	22% 100%	Fair Fair	Save
439			White Oak	Quercus alba	27	5150	5150	100%	Good	Remov
442			Virginia Pine	Pinus virginiana	26	4776	4675	98%	Poor	Remov
444	X		Tulip Poplar	Liriodendron tulipifera	25	4416	0	0%	Poor	Save
446 447	X		Bitternut Hickory Tulip Poplar	Carya cordiformis Liriodendron tulipifera	26 24	4776 4069	3227 1665	68% 41%	Good Poor	Remov
452	X		White Oak	Quercus alba	27	5150	0	0%	Poor	Save
455	X		Tulip Poplar	Liriodendron tulipifera	24	4069	2740	67%	Fair	Remov
456 458	X		Tulip Poplar White Oak	Liriodendron tulipifera Quercus alba	29 28	5942 5539	2147 3102	36% 56%	Good Poor	Remov
459	X		Tulip Poplar	Liriodendron tulipifera	25	4416	2221	50%	Poor	Remov
460	X		Tulip Poplar	Liriodendron tulipifera	26	4776	2642	55%	Poor	Remov
461 465	X		Tulip Poplar	Liriodendron tulipifera Liriodendron tulipifera	24 29	4069 5942	470 0	12% 0%	Poor Good	Save Save
466	X		Tulip Poplar White Oak	Quercus alba	29	4069	0	0%	Poor	Save
467	X		White Oak	Quercus alba	28	5539	285	5%	Good	Save
468	X		Black Gum	Nyssa sylvatica	25	4416	1845	42%	Good	Remov
469 472	X		Tulip Poplar White Oak	Liriodendron tulipifera Ouercus alba	26 24	4776 4069	0	0% 0%	Poor Fair	Save
473	X		American Beech	Fagus grandifolia	26	4776	0	0%	Fair	Save
474	X		American Beech	Fagus grandifolia	24	4069	0	0%	Good	Save
475 477	X		Tulip Poplar Northern Red Oak	Liriodendron tulipifera Ouercus rubra	25 28	4416 5539	0	0% 0%	Good Poor	Save
478	X		American Beech	Fagus grandifolia	25	4416	0	0%	Poor	Save
480	X		Tulip Poplar	Liriodendron tulipifera	28	5539	646	12%	Fair	Save
481	X		Tulip Poplar	Liriodendron tulipifera	29	5942	2013	34%	Fair	Remov
482 483	X		Tulip Poplar Tulip Poplar	Liriodendron tulipifera Liriodendron tulipifera	27 25	5150 4416	1217 0	24% 0%	Poor Fair	Save Save
485	X		Tulip Poplar	Liriodendron tulipifera	29	5942	0	0%	Fair	Save
486	X		White Oak	Quercus alba	24	4069	0	0%	Good	Save
490 492	X		American Beech Elm	Fagus grandifolia Ulmus sp.	24 27	4069 5150	2223 3382	55% 66%	Good Fair	Remov
494	X		Red Maple	Acer rubrum	24	4069	18	0%	Fair	Save
495	X		Tulip Poplar	Liriodendron tulipifera	27	5150	0	0%	Good	Save
496 497	X		Tulip Poplar Tulip Poplar	Liriodendron tulipifera Liriodendron tulipifera	25 27	4416 5150	0 1433	0% 28%	Fair Poor	Save Save
498	X		Tulip Poplar	Liriodendron tulipifera	26	4776	450	9%	Good	Save
499	X		Northern Red Oak	Quercus rubra	28	5539	2134	39%	Poor	Remov
500 39	X		American Beech	Fagus grandifolia Liriodendron tulipifera	25 31	4416 6789	1723 0	39% 0%	Fair Fair	Remov
43	X		Tulip Poplar Tulip Poplar	Liriodendron tulipifera	35	8655	144	2%	Fair	Save
48		X	Red Oak	Quercus rubra	31	6789	1471	22%	Poor	Save
49		X	London Plane Tree	Platanus acerifolia	35	8655	3465	40%	Good	Save
50 51		X	Willow Oak Willow Oak	Quercus phellos Quercus phellos	36 35	9156 8655	2514 1960	27% 23%	Fair Fair	Save Save
54			London Plane Tree	Platanus acerifolia	30	6359	6359	100%	Fair	Remov
426			London Plane Tree	Platanaus acerifolia	30	6359	5297	83%	Fair	Remov
434 435			Ornamental Cherry Pin Oak	Prunus avium Quercus palustris	30 31	6359 6789	6359 6789	100% 100%	Poor Fair	Remov
436	L		American Sycamore	Platanus occidentalis	32	7235	7235	100%	Poor	Remov
437			American Sycamore	Platanus occidentalis	40	11304	11304	100%	Poor	Remov
440	X		Tulip Poplar	Liriodendron tulipifera	30	6359	4556 7125	72%	Poor	Remov
441	X		Southern Red Oak Tulip Poplar	Quercus falcata Liriodendron tulipifera	37 41	9672 11876	7125 3342	74% 28%	Fair Fair	Remov
445	X		Tulip Poplar	Liriodendron tulipifera	34	8167	58	1%	Fair	Save
448	X		Tulip Poplar	Liriodendron tulipifera	35	8655	1663	19%	Good	Save
449 453	X		White Oak White Oak	Quercus alba Quercus alba	34	8167 6789	185 2240	2% 33%	Good Fair	Save
454	X		White Oak	Quercus alba	32	7235	773	11%	Poor	Save
457	X		Tulip Poplar	Liriodendron tulipifera	31	6789	2175	32%	Poor	Remov
462 463	X		White Oak Tulip Poplar	Quercus alba Liriodendron tulipifera	33 30	7694 6359	2359	31% 0%	Fair Fair	Remov
464	X		Southern Red Oak	Quercus falcata	31	6789	1043	15%	Poor	Save
470	X		Northern Red Oak	Quercus rubra	38	10202	0	0%	Fair	Save
471	X		Tulip Poplar	Liriodendron tulipifera	30	6359	0	0% 5%	Poor	Save
476 479	X		White Oak Tulip Poplar	Quercus alba Liriodendron tulipifera	31 32	6789 7235	330	5% 0%	Poor Good	Save
484	X		Northern Red Oak	Quercus rubra	50	17663	0	0%	Fair	Save
487	X	_	Tulip Poplar	Liriodendron tulipifera	30	6359	0	0%	Fair	Save
488	X		Tulip Poplar	Liriodendron tulipifera Liriodendron tulipifera	38	10202 6789	3507	34%	Good Fair	Save
489 491	X		Tulip Poplar Tulip Poplar	Liriodendron tulipifera Liriodendron tulipifera	31 33	7694	2289 2554	34% 33%	Good	Remov
493	X		Tulip Poplar	Liriodendron tulipifera	30	6359	1219	19%	Fair	Save
A		X	Northern Red Oak	Quercus rubra	34	8167	0	0%	Poor	Save
В		X	Tulip Poplar White Oak	Liriodendron tulipifera Quercus alba	32 40	7235 11304	0	0% 0%	Good Good	Save
С				and the same of th				0/0	20004	, oa v€

Specimen and Significant Tree Table

	Variance Tree Mitigo	ution Planting Requirements	
No.	Common Name	Scientific Name	DBH (inches)
54	London Plane Tree	Platanus acerifolia	30
426	London Plane Tree	Platanaus acerifolia	30
434	Ornamental Cherry	Prunus avium	30
435	Pin Oak	Quercus palustris	31
436	American Sycamore	Platanus occidentalis	32
437	American Sycamore	Platanus occidentalis	40
440	Tulip Poplar	Liriodendron tulipifera	30
441	Southern Red Oak	Quercus falcata	37
Total DB	BH Removed		260
Total Cal	liper Replacement Required	(1" caliper/4" DBH)	65

Sequence of Events for Properties Required to Comply With Forest Conservation Plans, Exemptions from Submitting Forest Conservation Plans,

The property owner is responsible for ensuring all tree protection measures are performed in accordance with the approved final forest conservation plan or tree save plan, and as modified in the field by a Planning Department Forest Conservation Inspector. The measures must meet or exceed the most recent standards published by the American National Standards Institute (ANSI

Pre-Construction

1. An on-site pre-construction meeting is required after the limits of disturbance have been staked and flagged and before any land disturbance.

The property owner must arrange for the meeting and following people must participate at the pre-construction meeting: the property owner or their representative, construction superintendent, International Society of Arboriculture (ISA) certified arborist/Maryland Licensed Tree Expert (representing owner) that will implement the tree protection measures, The Planning Department Forest Conservation Inspector, and Montgomery County Department of Permitting Services (DPS) Sediment Control Inspector. The purpose of this meeting is verify the limits of disturbance and discuss specific tree protection and tree care measures shown on the approved plan. No land disturbance shall begin before tree protection and stress-reduction measures have been implemented and approved by the Planning Department's Forest Conservation Inspector.

a. Typical tree protection devices include: Chain link fence (four feet high)

ii. Super silt fence with wire strung between the support poles (minimum 4 feet high) with high visibility flagging. iii. 14 gauge, 2 inch x 4 inch welded wire fencing supported by steel T-bar

posts (minimum 4 feet high) with high visibility flagging. b. Typical stress reduction measures may include, but are not limited to: Root pruning with a root cutter or vibratory plow designed for that purpose. Trenchers are not allowed, unless approved by the Forest Conservation Inspector

ii. Crown Reduction or pruning iii. Watering

iv. Fertilizing v. Vertical mulching

vi. Root aeration systems Measures not specified on the Forest Conservation Plan may be required as

owner's arborist. 3. A Maryland Licensed Tree expert must perform, or directly supervise, the implementation of all stress reduction measures. Documentation of the process (including photographs) may be required by the Forest Conservation Inspector, and will be determined at the

determined by the Forest Conservation Inspector in coordination with the property

pre-construction meeting. Temporary tree protection devices must be installed per the approved Forest Conservation Plan, Exemption Plan, or Tree Save Plan and prior to any land disturbance. The Forest Conservation Inspector, in coordination with the DPS Sediment Control Inspector, may make field adjustments to increase the survivability of trees and forest shown as saved on the

approved plan. 5. Tree protection fencing must be installed and maintained by the property owner for the duration of construction project and must not be altered without prior approval from the Forest Conservation Inspector. All construction activity within protected tree and forest

areas is prohibited. This includes the following activities: Parking or driving of equipment, machinery or vehicles of any type. b. Storage of any construction materials, equipment, stockpiling, fill, debris, etc. c. Dumping of any chemicals (i.e., paint thinner), mortar or concrete remainder,

trash, garbage, or debris of any kind. Felling of trees into a protected area.

e. Trenching or grading for utilities, irrigation, drainage, etc.

6. Forest and tree protection signs must be installed as required by the Forest Conservation Inspector. The signs must be waterproof and wording provided in both English and

7. Periodic inspections will be made by the Forest Conservation Inspector. Corrections and repairs to tree protection devices must be completed within the timeframe given by the

8. The property owner must immediately notify the Forest Conservation Inspector of any damage to trees, forests, understory, ground cover, and any other undisturbed areas shown on the approved plan. Remedial actions, and the relative timeframes to restore these areas, will be determined by the Forest Conservation Inspector.

Post-Construction

9. After construction is completed, but before tree protection devices have been removed, the property owner must request a final inspection with the Forest Conservation Inspector. At the final inspection, the Forest Conservation Inspector may require additional corrective

measures, which may include: a. Removal, and possible replacement, of dead, dying, or hazardous trees

b. Pruning of dead or declining limbs c. Soil aeration

 d. Fertilization e. Watering

f. Wound repair

g. Clean up of retention areas, including trash removal

10. After the final inspection and completion of all corrective measures the Forest Conservation Inspector will request all temporary tree and forest protection devices be removed from the site. Removal of tree protection devices that also operate for erosion and sediment control must be coordinated with both DPS and the Forest Conservation Inspector and cannot be removed without permission of the Forest Conservation Inspector. No additional grading, sodding, or burial may take place after the tree protection fencing is removed.

11. Long-term protection measures, including permanent signage, must be installed per the approved plan. Installation will occur at the appropriate time during the construction project. Refer to the approved plan drawing for the long-term protection measures to be installed.

INSPECTIONS

All field inspections must be requested by the applicant. Inspections must be conducted as follows:

Tree Save Plans and Forest Conservation Plans without Planting Requirements After the limits of disturbance have been staked and flagged, but before any clearing or grading begins

After necessary stress reduction measures have been completed and protection measures have been installed, but before any clearing

After completion of all construction activities, but before removal of tree protection fencing, to determine the level of compliance with the provision of the forest conservation.

Additional Requirements for Plans with Planting Requirements

Before the start of any required reforestation and afforestation planting After the required reforestation and afforestation planting has been completed to verify that the planting is acceptable and prior to the

At the end of the maintenance period to determine the level of compliance with the provisions of the planting plan, and if appropriate, release of the performance bond.

STANDARD SYMBOL

TSF----TSF-

FIFLD WITH ARBORIST

PRIOR TO INSTALLING PROTECTIVE FENCE

NOT TO SCALE

4. ROOT DAMAGE SHOULD BE AVOIDED

5. PROTECTIVE SIGN IS REQUIRED

GENERAL CONDITIONS

A. The landscape contractor shall provide all materials, labor and equipment to complete all landscape work as shown on the plans, plant list and specifications. B. Total number of plants shall be as drawn on the landscape plan. If this total differs from the plant schedule, the landscape contractor is to notify the landscape architect before the bid date.

II. STANDARDS A. All plant material will conform to the current issue of the American Standard for Nursery Stock published by the American Nursery and Landscape Association (ANLA) conform in general to

B. The plant material must be selected from nurseries that have been inspected by state or federal agencies. Any certificates required must be provided to owner or representative upon delivery of III. SUBSTITUTIONS

A. If a plant is found not to be suitable or available, the contractor is to notify the landscape architect B. The owner or landscape architect is then required to select a reasonable alternate or to inform all landscape contractors of the availability of the original plant. If a substitute is selected, it must be of the same size, value and quality as the original plant.

Substitutions to be made with written approval of M-NCPPC. A. The landscape contractor shall notify utility companies prior to construction and call "Miss Utility" at 1(800)257-7777, to locate main utility lines. B. If there is a conflict with the utilities and the planting, the landscape contractor shall notify the landscape architect or owner immediately. Any cost of relocating caused by the contractors' failure

to notify shall be borne by the contractor. V. DRAINAGE A. Plants shall not be planted in situations that show obvious poor drainage. Such situations shall be brought to the attention of the landscape architect or owner and, if deemed necessary, plants shall be relocated or the contract shall be adjusted to provide drainage correction at a negotiated cost. A. During planting, all areas shall be kept clean and neat, and all reasonable precautions shall be

B. Upon completion, all debris and waste material resulting from planting operations shall be removed from the project and the area cleaned up. C. Any damaged areas shall be restored to their original condition at the cost of the contractor.

taken to avoid damage to existing plants, turf and structures.

I. PLANT MATERIAL

Bare rooted shrubs shall be dug with adequate fibrous roots. Roots shall be protected during handling and transit and planted to guard against drying out and damage. If not planted soon after arrival, material must be heeled in and maintained.

B. Balled and Burlapped (B&B) Balled and Burlapped plants shall be dug with firm natural balls of earth. Ball sizes shall be in accordance with ANLA specifications. C. Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold soil in container together. D. All plant material shall be nursery grown unless otherwise specified. Pruning shall be done before planting or during the planting operation. E. All plant material to be transported in covered container. Locally available material may be covered with a burlap or similar cover to keep from drying out, provided the transporting vehicle

Anti-desiccants shall be applied on all materials dug while in foliage. G. Container stock may replace B&B as long as all other criteria are met. H. Same plant material for location near each other shall be similar in appearance. Hedge material will be similar enough in size and shape, etc. to create a uniform hedge. II. MATERIALS

1. Anti-transpirants shall be an emulsifiable concentrate used to retard excess water loss without harming normal transpiration. B. BACK FILL MIXTURES

maintains a maximum of 35 mph.

1. Back fill mixture shall be 1/3 existing soil mixed with 1/3 organic material (or peat) and 1/3 2. If any other additives are found to be needed at the time of planting, it shall be added only with the approval of the landscape contractor, landscape architect and owner or owner's

i. Trees - Use tree fertilizer as required by particular species ii. Shrubs - Use tree fertilizer as required by particular species iii. Ground Cover, Vines & Herbaceous Plants - Use tree fertilizer as required by

3. Fertilizer is to be added depending on the size of the plant and the manufacturer's

If used, top soil shall be sandy loam and uniform in color and composition It shall be free of stones, roots, lumps, plants and other debris over 1 1/2 It shall not contain toxic substances harmful to plant growth Top soil shall have a pH range of 5.0 to 7.0 and the organic matter shall be a minimum content of 1.0%

D. ORGANIC MATTER Organic Matter used in back fill shall be peat or other material approved by the landscape architect or owner. E. PEAT MOSS

Type I - sphagnum peat moss finely divided with a pH of 4.0 to 5.0. F. LEAF MOLD This a composted leaf material to be used with the approval of landscape architect. 1. To be organic matter composted and aged by accepted methods to be used only when

specified or by approval of landscape architect. H. DOLOMITE LIME 1. This is agricultural grade limestone containing total carbonates of 85% with a minimum of 30% magnesium carbonates. I. FERTILIZER

1. Fertilizer shall be granular, packet or pellet with 35% to 85% of the total nitrogen in a slowly available form. To be applied by manufacturers methods

2. Fertilizer shall be a complete fertilizer with a minimum analysis as required by soil test and J. TRACE ELEMENTS These slow release materials containing zinc (Zn), molybdenum (Mo), iron (Fe), copper (Cu), boron (B), and magnesium (Mg). To be applied as per manufacturer's directions as deemed

necessary by soil test. III. BACKFILLING A TREE PIT A. Cut rope or wire on ball of tree and pull burlap back to the edge of the root ball remove all plastic

wraps and twine. Roll burlap 1/3 of the way down the root ball. Backfill tree pit with a soil mixture stated in the specifications Mix soil amendments in the mixture either prior to filling pit or as pit is being filled Make sure plants remain straight during backfilling proce Backfill sides of tree pit halfway with soil mixture and tamp as pit is being filled. Finish backfilling sides of tree pit and tamp firmly. NEVER COVER TOP OF TREE BALL WITH SOIL. Top of root ball should be 1/4 the root ball height above the tree pit.

H. Form a 4" saucer above existing grade and around the outer rim of the tree pit. Mulch top of root ball and saucer within 48 hours to a minimum depth of 2" and not exceed 3" Water thoroughly the interior of the tree saucer until it is filled. EVEN IF IT IS RAINING. Provide enough water to ensure saturation of the root ball. Prune out any dead, conflicting or broken branches.

In extremely hot weather, reduce foliage surface by pruning or stripping of foliage. Remove all tags, labels, strings, etc. from the tree. IV. TREES BRACED BY STAKING

A. Choose the correct size and number of stakes and size of hose and wire according to the Tree Support Detail and plant requirements. Staking shall be completed within 48 hours of planting the B. Space stakes evenly and vertically on the outside of the tree ball, driven firmly into the ground (stakes can be slightly angled away from the tree). NOTE: Never drive a stake through the tree

ball, as it will damage the tree's root system. Stakes to be 2/3 above ground, 1/3 below. Cut pieces of reinforced hose long enough to loop around the trunk of the tree. Place the hose around the trunk at the height required to provide optimum support. Then run the wire through the hose and pull both ends horizontally beyond the stake by 2'. Cut the wire to sufficient length and then twist the wire at the rubber hose to keep it in place.

Run both ends of wire together around the stake twice and then twist wire back onto itself to secure it. Cut off excess wire and stake. The above procedures are to follow for each stake.

. Stakes shall be 2"x2" hardwood, reasonably free of knots to be long enough for 1/3rd to be driven into the soil, and 2/3rds above the soil surface. Wire shall be 12 or 14 gauge galvanized steel or acceptable equal, depending on the size of

Cable shall be 1/4" or 3/16" galvanized steel, depending on size of tree.

1. Material shall be double shredded composted hardwood bark, such as "silvabark" or approved equivalent.

Material shall be mulching grade, uniform in size and free of foreign or harmful matter. V. INSPECTION A. Plants may be subject to inspection and approval by the owner or owner's representative at the place of growth for conformity to specification requirements as to quality, size and variety. This will be at the owner's expense Plants damaged in handling or transportation may be rejected by the owner or owner's

II. PLANTING PROCEDURES FOR TREES

representative

The tree pit must be a minimum width of 2 times the size of the root ball at the top The walls of tree pit shall be dug so that they are scarified. The tree pit shall be deep enough to allow 1/3 of the root ball to be above the existing grade. Any loose soil at the bottom of the pit shall be tamped by hand or with the bucket of the backhoe. Dig pit 6" deeper than depth required for root ball. Fill bottom of pit with 6" compacted soil mix

IL PLACING TREE IN THE PIT Place the tree in the pit by lifting and carrying the tree by its ball (never lift by branches or trunk) and then lowering it into the pit. Contractor is responsible for providing any machinery necessary to lift and move plant material and to insure it is not dropped. B. Set the tree straight and in the center of the pit with the most desirable side of the tree facing toward the prominent view (sidewalk, building, street, etc.).

adjusting depth to ensure top of root ball is 1/4 above the surface of the soil.

Any dropped material may be rejected by owner or representative. Any dropped material should be flagged with red flagging on its trunk and noted on a plan. Should plant die, it will be replaced by the contractor at no cost to the owner.

III. PLANTING PROCEDURES FOR SHRUBS

L PREPARING SHRUB PIT A. For a single shrub, the pit shall be dug large enough for the proper setting of the root ball (4" wider than root ball at base. 2 to 3 times the width of the root ball at the top). For a shrub mass planting, the entire bed area shall be rototilled 3 to 4 " deep. Each shrub pit shall be excavated for the proper setting of the root ball.

For a hedge, a trench shall be dug large enough for the proper setting of all of the plants root balls (the trench shall be 2 times wider than the root balls D. Form a compacted base in the bottom of the hole to adjust plant height to proper location. Compact sufficiently to prevent settling.

II. PLANTING SINGLE SHRUBS AND BACKFILLING PIT

Place the plant in the pit by lifting and carrying in by the root ball. Set the plant straight and in the center of the pit with the most desirable side facing toward the prominent Make sure the plant remains straight during backfilling procedure.

Backfill side of the pit halfway with soil mixture and tamp as the pit is being filled. Pull the burlap back 1/3 the way down the root ball. Make sure burlap does not become exposed above Finish backfilling the sides of the shrub pit and tamp firmly.

Form a saucer above the existing grade and around the planting pit Mulch top of root ball and saucer a minimum of 2" depth and not to exceed 3" in depth Water thoroughly, the interior of the shrub saucer to insure root ball is saturated. EVEN IF IT IS

Prune out any dead, conflicting or broken branches. Remove all tags, labels, strings, etc. from the plant.

Remove all plastic wraps, twine, containers, etc.

III. PLANTING A SHRUB MASS Follow the same procedure as for a single shrub. (Section II A-I) Edge and rake the entire planting bed to obtain uniform surface.

Mulch the entire planting bed a minimum of 2" depth and not to exceed 3" depth. Water the entire planting bed thoroughly. EVEN IF IT IS RAINING. To saturate top 2" of soil. Prune out any dead, conflicting or broken branches. Remove all tags, labels, strings

IV. PLANTING PROCEDURES FOR GROUND COVER

A. The ground cover bed shall be loosened prior to planting by one of the following methods: rototilling, back-hoeing and rototilling or by picking (generally done on small areas or on slopes). Soil shall be loosened to a depth of 4" to 6". B. \$oil additives for the ground cover bed shall be peat and topsoil, (2" deep) after the soil has been loosened and additives then worked into the bed by one of the following methods: rototilling, back-

hoeing and rototilling or by picking (in which soil additives are spread by hand into the individual plant pockets and worked into the soil by pick). Fertilize in planting hole or use water soluble fertilizer at base of plants after planting. Mulch the entire ground cover bed to minimum 1" depth and not to exceed 2" in depth.

IL PLANTING GROUND COVER A. The ground cover planting holes shall be dug through the mulch with one of the following: hand trowel, shovel, bulb planter or hoe. Before planting, biodegradable pots shall be crushed and the top edges broken down below the surface. Non-biodegradable pots shall be removed. Unwrap any bound roots, do not break root ball,

The ground cover (either potted or bare root) shall be planted So that the roots of the plant are surrounded by soil below the mulch: potted plants being set so that the top of the soil in the pot is even with the existing grade, and bare root plants being covered up to the crown of the plant or soil level

At an equal distance apart (plans and specifications specify the "on center" (o.c.) distance for the ground cover). See spacing guide. D. The entire ground cover bed shall be edged and thoroughly watered.

I TEMPORARY SEEDING A. Vegetation - Annual Ryegrass or Pearl Millet shall be used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetation cover, permanent seeding is required.

Seed Mixtures - Temporary Seeding Preferred: Annual Ryegrass – cool season, 40 lbs./acre. (1/2 that amount for over seeding) Pearl Millet – warm season; 20lbs/acre. (These are preferred because existing and proposed native grasses and wildflowers may not compete well with certain grass species) B. If seed mixtures used are other than those preferred, they must be from table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of Environmental

Protection. Temporary plant material must be removed prior to seeding of other material. For sites having soil tests performed, the seeding and amendment rates shown in table B.1 of "Standards and Specifications for Soil Erosion and Sediment Control" shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for temporary

II. PERMANENT SEEDING A. \$eeding grass and legumes to establish ground cover for a minimum period of one year on all disturbed

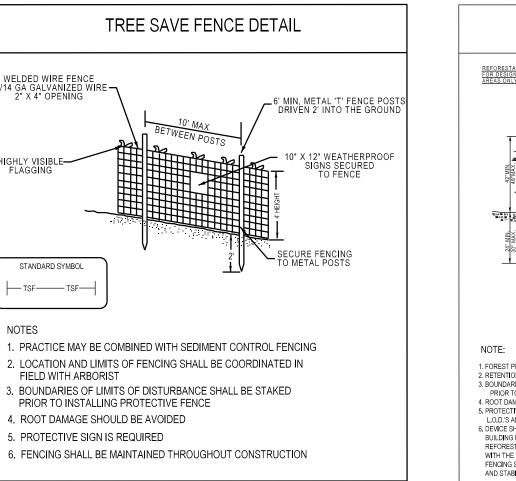
areas generally receiving low maintenance. Seed mixtures: Seed mixtures not from table B.3 of "Standard and Specifications for Soil Erosion and Sediment Control" by the Maryland department of Environmental Protection, must be approved by landscape architect. Additional planting specifications for exceptional sites such as shore lines, stream banks or dunes, or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Technical Field Office Guide. Section 342 - Critical Area Planting. For sites having disturbed areas over 5 acres, the rates shown in table B.3 of "Standards and Specification for Soil Erosion and Sediment Control" shall be deleted and the rates recommended by the soil testing agency shall be written in. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 lbs/1000 sq. ft. (150 lbs./acre). The above recommended soil amendments and hose stated in the soil test to be performed at the time of seeding, or as recommended by state agency and manufacturers Do not fertilize area to be seeded around storm water management facilities.

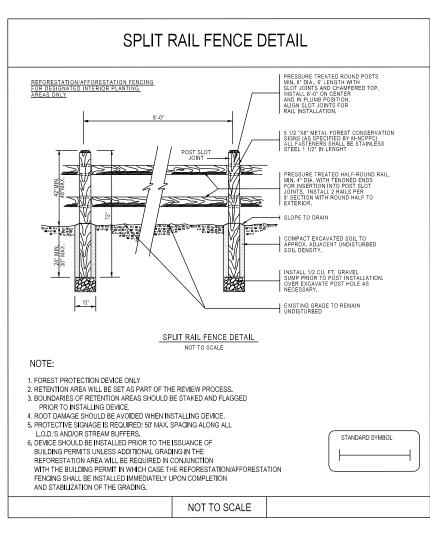
Contractor to provide a final product of grass crop creating a lawn of uniform color and texture after

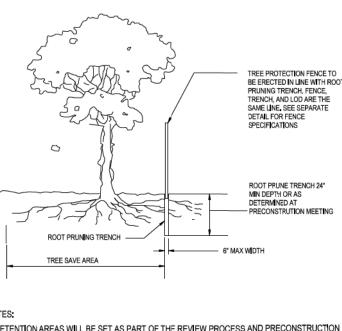
Contractor to perform soil test as per accepted methods by the local agricultural extension service. Contractor will be held responsible for notifying owner of any problems or deficits determined by the 4. Corrections will be discussed and cost negotiated with owner.

i. Plant failure based on soil deficits or problems due to failure of contractor to take samples, will be replaced at the cost of the contractor after corrections have been made.

Clamps shall be galvanized steel or zinc and large enough to hold wires or wires used. 1. Hose shall be corded rubber, uniform in color and either 3/4" to 1" in diameter, depending on







1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRECONSTRUCTION 2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRECONSTRUCTION MEETING AND FLAGGED PRIOR TO TRENCHING. 3. EXACT LOCATION OF TRENCH SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FOREST CONSERVATION (FC) INPECTOR. 4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FC INSPECTOR. 5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE 6. ALL PRUNING MUST BE EXECUTED WITH LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FC INSPECTOR.

ROOT PRUNING DETAIL

SOLTESZ, INC. ROCKVILLE OFFICE 2 Research Place, Suite 100 Rockville, MD 20850 P. 301.948.2750 F. 301.948.9067 www.solteszco.com Engineering Surveying

Environmental Sciences

Planning

REVISIONS MISS UTILITY NOTE ORMATION CONCERNING EXISTING UNDERGROUND UTILITIE AS OBTAINED FROM AVAILABLE RECORDS, THE CONTRACTO

IST DETERMINE THE EXACT LOCATION AND ELEVATION OF AL STING UTILITIES AND UTILITY CROSSINGS BY DIGGING TES TS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVAT NTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO HE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN HOWN ON THIS PLAN OR TWELVE (12) INCHES. WHICHEVER IS SS_CONTACT THE ENGINEER AND THE UTILITY COMPANY EFORE PROCEEDING WITH CONSTRUCTION, CLEARANCES LE HAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER / DEVELOPER / APPLICANT

Community Three 650 F St. NW Washington, D.C. 20004 (202)232-3068 (T) Contact: Grant Epstein

PROFESSIONAL CERTIFICATION EREBY CERTIFY THAT THESE DOCUMENTS WERE REPARED OR APPROVED BY ME. AND THAT I AM A D CENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,
ICENSE NO._______, EXPIRATION DATE:_____

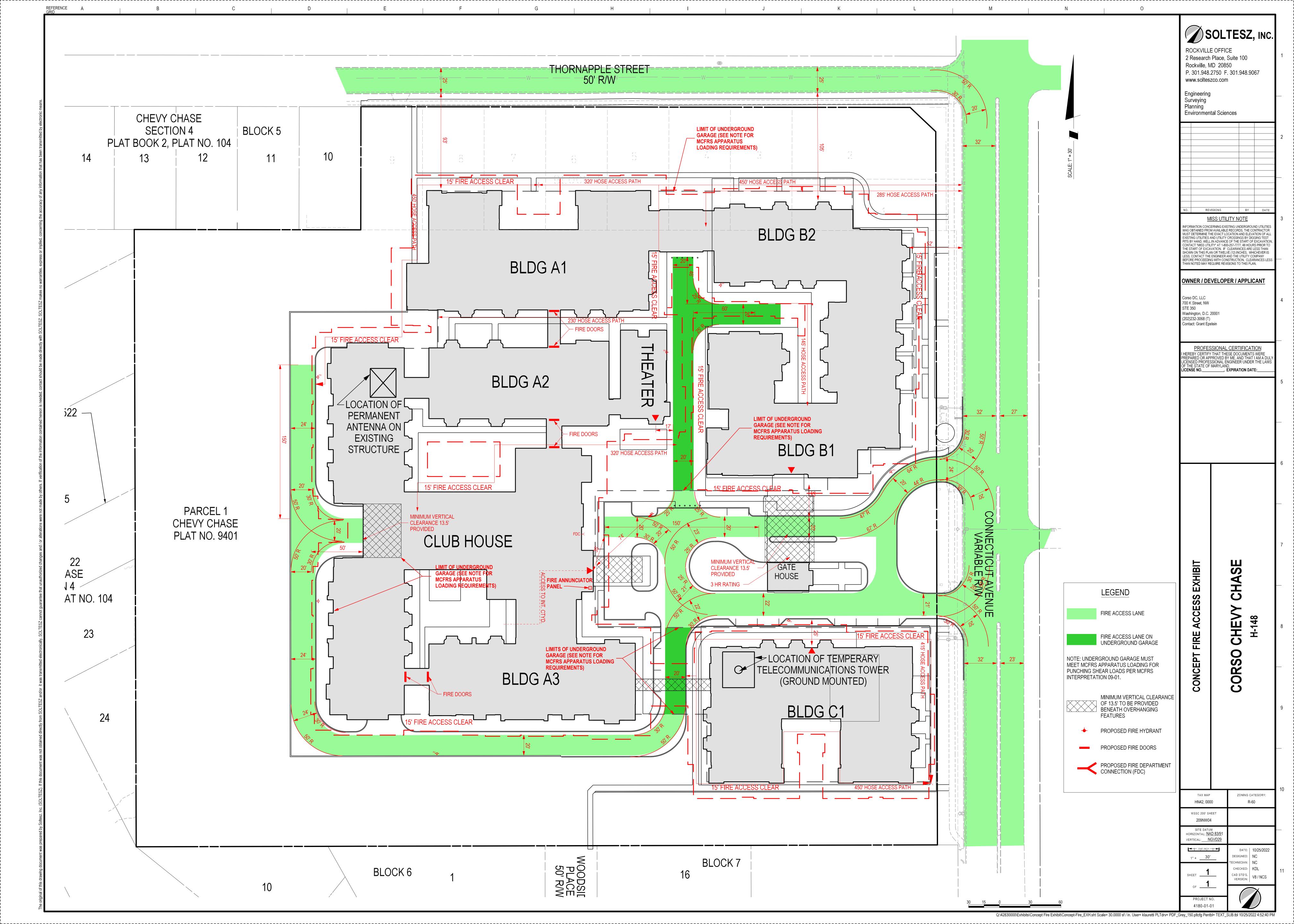
ZONING CATEGORY CRNF-1.5, C-0.25, R-1.25. H-70 WSSC 200' SHEET iorizontal: <u>NAD 83/9</u> ERTICAL: NGVD29 DATE: 10/25/2022 ESIGNED: NC

HECKED: KDL CAD STD'S. V8 / NCS

HN42, 0000

209NW04

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May 31, 2022

Katherine Mencarini Planning Coordinator Montgomery County Planning Department 2425 Reedie Drive, 13th Floor Wheaton, Maryland 20902

RE: LATR Exemption Letter for 4-H Corso Connecticut Avenue Montgomery County, Maryland

Dear Ms. Mencarini:

This letter serves as a Traffic Statement and a justification for exemption from a Local Area Transportation Review (LATR) study for the proposed redevelopment of the 4-H headquarters Building located at 7100 Connecticut Avenue in the Bethesda/Chevy Chase policy area of Montgomery County, Maryland.

The property has served as the Headquarters of 4-H and the site contains the 93,301 headquarters office building, and a 183-room hotel with 37,500 square feet of meeting space. The applicant proposes to redevelop the property with up to 450 senior/assisted living units. Vehicular access to the site will remain as currently provided for 4-H facilities on Connecticut Avenue.

We have prepared a trip generation analysis for the subject property comparing the existing site development to the proposed use in accordance with the latest edition of the Maryland National Capital Park and Planning Commission (MNCPPC) Local Area Transportation Review (LATR) guidelines.

Based on the trip generation analysis attached in Table 1, the proposed use will generate 164 AM peak hour and 239 PM peak hour person trips. Of these person trips, they will generate 93 AM peak hour and 137 PM peak hour auto driver trips. By contrast, the existing use generates 285 AM peak hour and 299 PM peak hour person trips, and 175 AM peak hour and 183 PM peak hour auto driver trips.

As shown in Table 1 the change in use on this property will reduce both the person trips and auto driver trips. The net reduction of person trip during the AM peak hour is -121 and -60 during the PM peak hour. The auto driver trips reduction during the AM peak hour will be -82 trips and during the PM peak hour the auto driver trip reduction will be -46 trips.

The LATR guidelines stipulate that credit for existing site trips may be considered to determine if "the proposed use will be replacing an existing land use that was occupied for more than 12 years" and proposed use will not increase the 50-person trip threshold requiring an LATR study. Since the proposed use will replace a use that has been occupied for more than 12 years and result in a net reduction of person trips (well below the 50-person trip standard), the site is exempt from an LATR study.

If you have any questions regarding the above Traffic Statement, please call me at (410) 353-7340 or email me at amrandall@mjwells.com.

Sincerely,

Nancy Randall, AICP Principal Associate

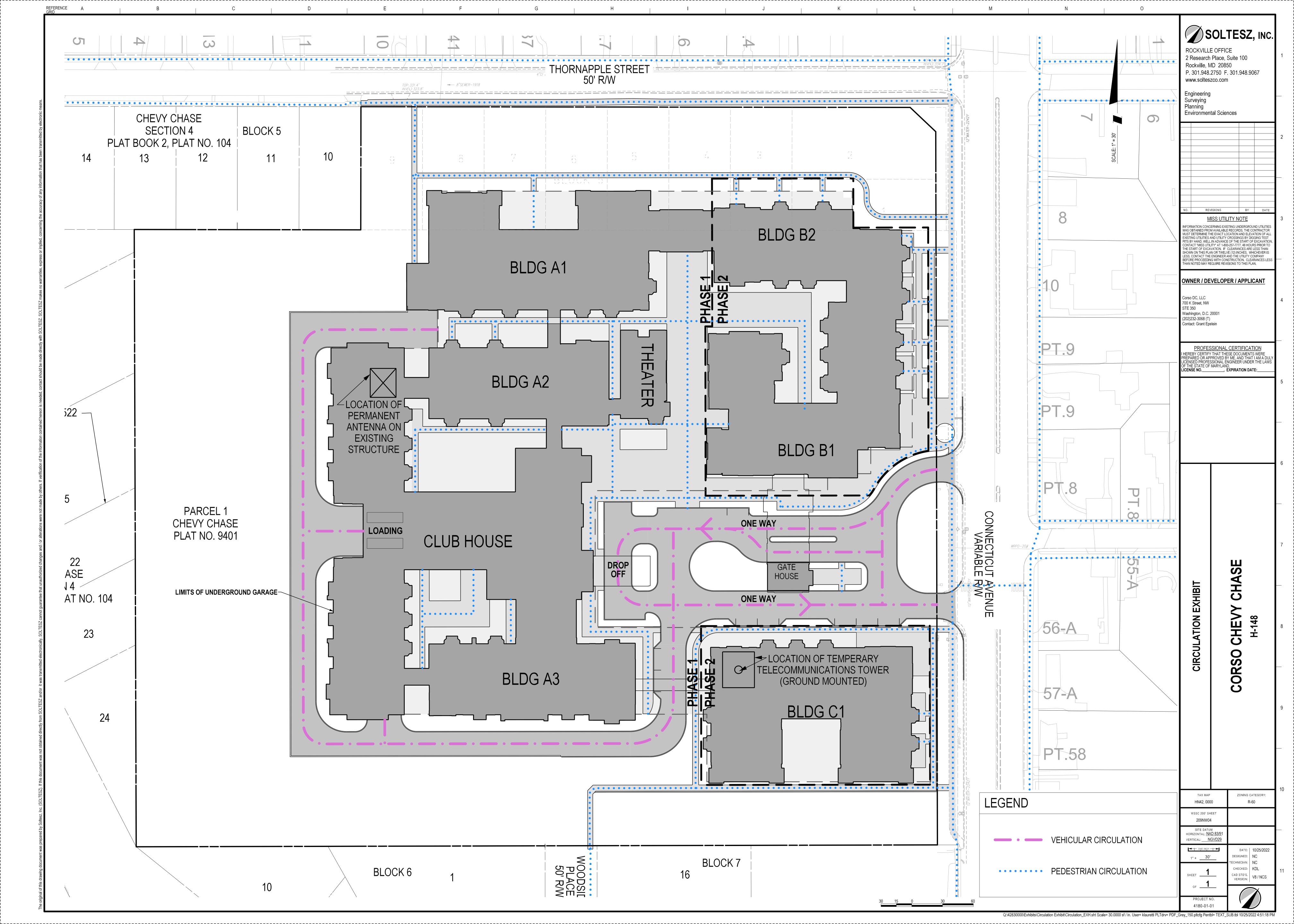
Yawey Kawalel

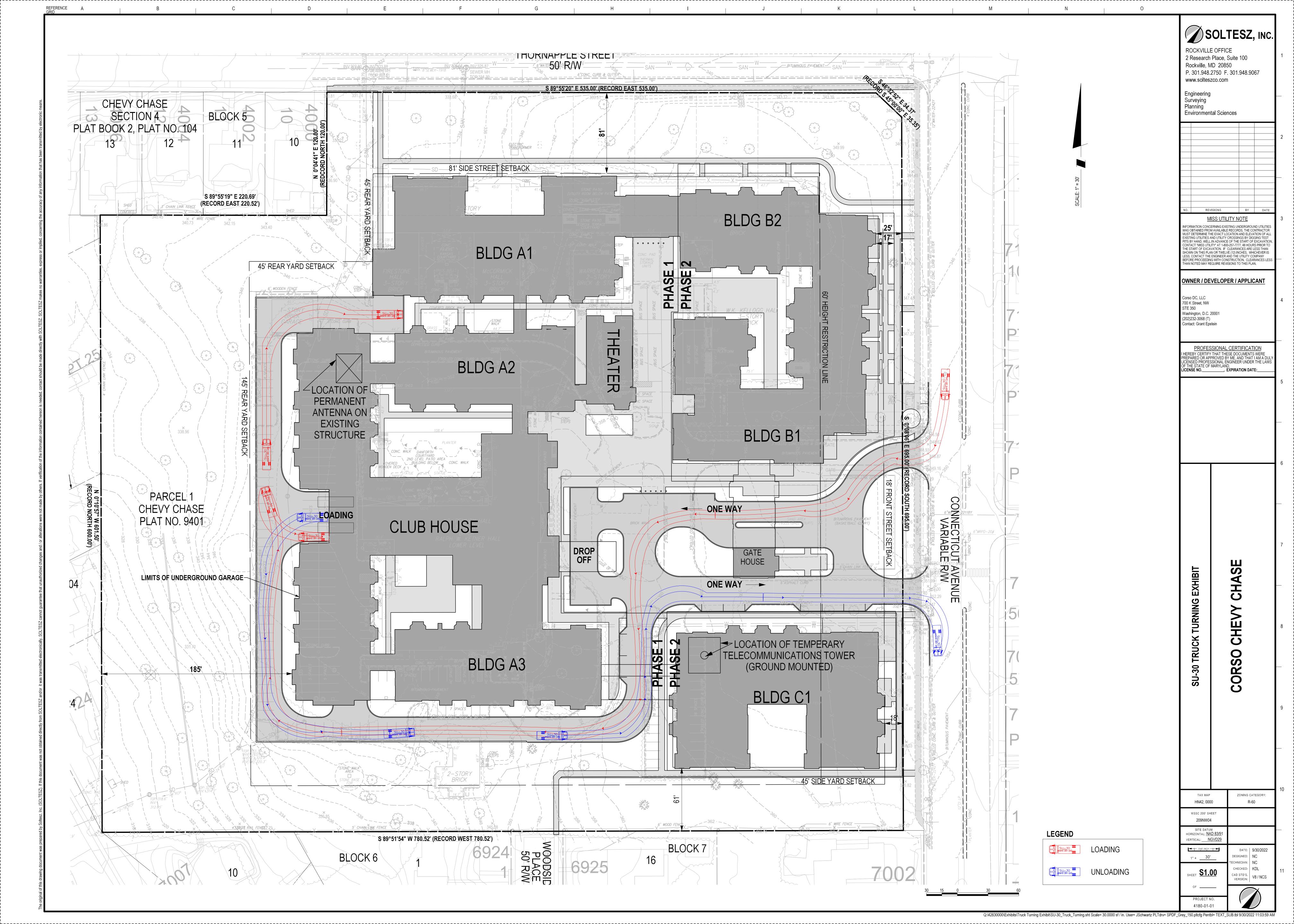
Table 1Corso CC - 4H Site
Trip Generation for Scenario 2 (1) (2)

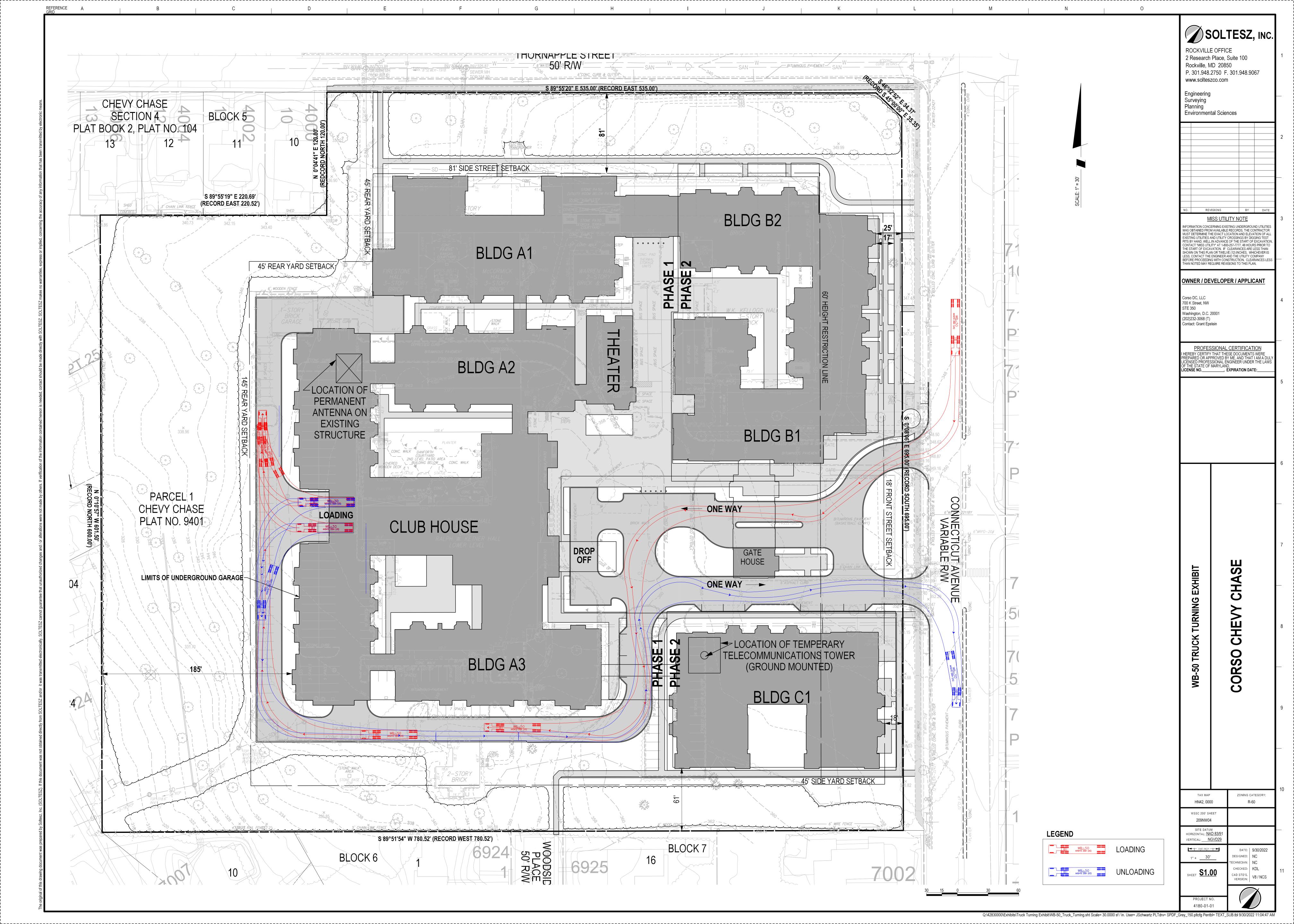
The ocurrention for accurate to																					
						ITE Trip Generation	neration						2022 LATR TI		n Rate Adjustı	p Generation Rate Adjustment Factors / Mode Split Adjustments	Mode Split A	djustments			
				ΑN	AM Peak Hour	,	PIV	PM Peak Hour				AM Peak Hour	k Hour					PM Peak Hour	(Hour		
Land Use	LUC	Amount	Unit	5	Out	Total	5	Out	Total	Auto Driver (Vehicle Trips)	Auto T Passenger	ransit Trip	Non- Motorized s (Bicycle Trips)	Pedestrian (Walking Trips)	Total Person Trips	Auto Driver (Vehide Trips)	Auto Passenger	Transit Trips	Non- Motorized (Bicycle Trips)	Pedestrian (Walking Trips)	Total Person Trips
Existing Uses																					
Hotel (3)	310	183	Rooms	47	37	84	55	53	108	66	19	14	11	25	109	85	24	18	14	32	140
Corporate Headquarters Building	714	93,301	S.F.	126	9	135	11	110	121	109	<u>31</u>	20	<u>16</u>	<u>36</u>	<u>176</u>	<u>98</u>	<u>28</u>	<u>18</u>	15	33	<u>159</u>
			Subtotal	173	46	219	66	163	229	175	50	34	27	61	285	183	52	36	29	65	299
Proposed Uses																					
Assisted Living/memory care	254	220	Beds	24	16	40	21	32	53	35	15	σ	00	13	62	46	19	6	10	16	82
Senior Adult Housing - Multifamily	252	287	P	19	36	55	42	30	72	48	20	7	11	18	86	63	26	9	14	23	112
Strip Retail Plaza (<40k)	822	5,000	S.F.	7	Įσ	12	17	<u>16</u>	33	10	4	1	2	Ιω	<u>16</u>	28	11	1	Įσ	16	45
			Subtotal	50	57	107	80	78	158	93	39	13	21	34	164	137	56	16	29	45	239
		Net	Net New Trips	-123	11	-112	14	-85	-71	-82	-11	-21	-6	-27	-121	46	4	-20	0	-20	-60

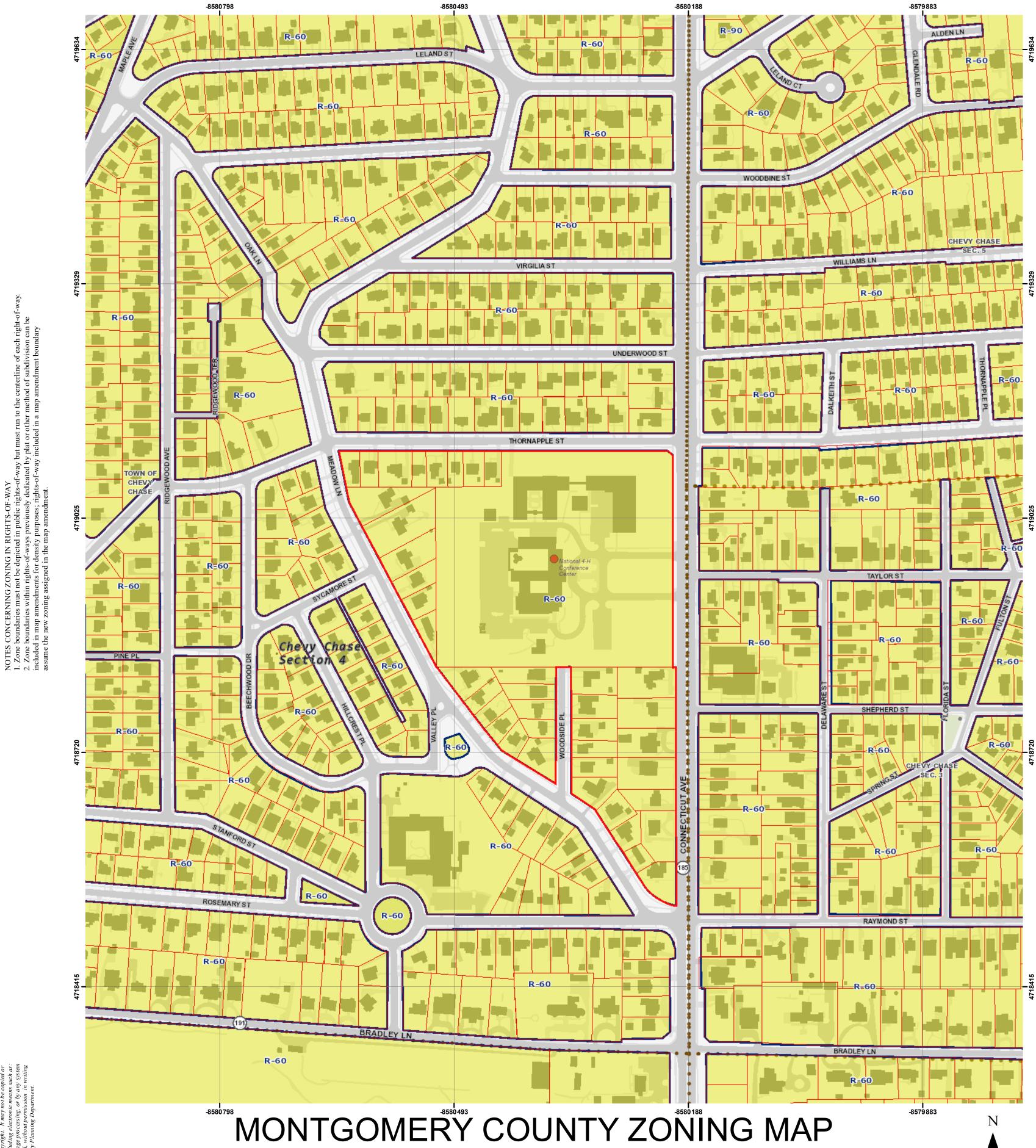
Notes:

(1) Trip Generation based on the Institute of Transportation Engineers' (ITE) Trip Generation Manual, 11th Edition.
(2) Bethesda/Chewy Chase Policy Area
(3) 37,500 SF of Meeting and Conference Use was assumed to be within the Hotel.









00464946

R-60

N/A

N/A

N/A , N/A ,

7100 CONNECTICUT AVE

PAR 1 CHEVY CHASE SE

Institutional/Community Facility

CHEVY CHASE, 20815

Account #

Address

Landuse

Zone

Overlay Zone

TDR Overlay Zone

Parking District

Parcel, Lot, Block

Legal Description

The Maryland-National Capital Park and Planning Commission 250 750 1,250 1,000

N/A

N/A

N/A

Tier 1: Sewer existing

TOWN OF CHEVY CHASE

BETHESDA CHEVY CHASE

Special Protection Area

Urban District

Enterprise Zone

Arts & Ent. District

Special Tax District

Bike/Ped Priority Area

Urban Renewal Area

Priority Funding Area

Historic Site/District

Septic Tier

Municipality

Master Plan

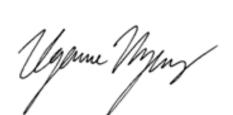
Metro Station Policy Area

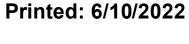
Montgomery County Planning Department

■ Feet	
WSSC Grid	209NW04
Map Amendments	G-666 G-956
Water/Sewer Categories	W-1 / S-1

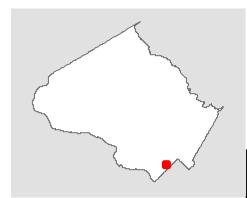
I certify that this document is a copy of the official Montgomery County Zoning Maps as downloaded on 6/10/2022 from MCATLAS.ORG/ZONING.

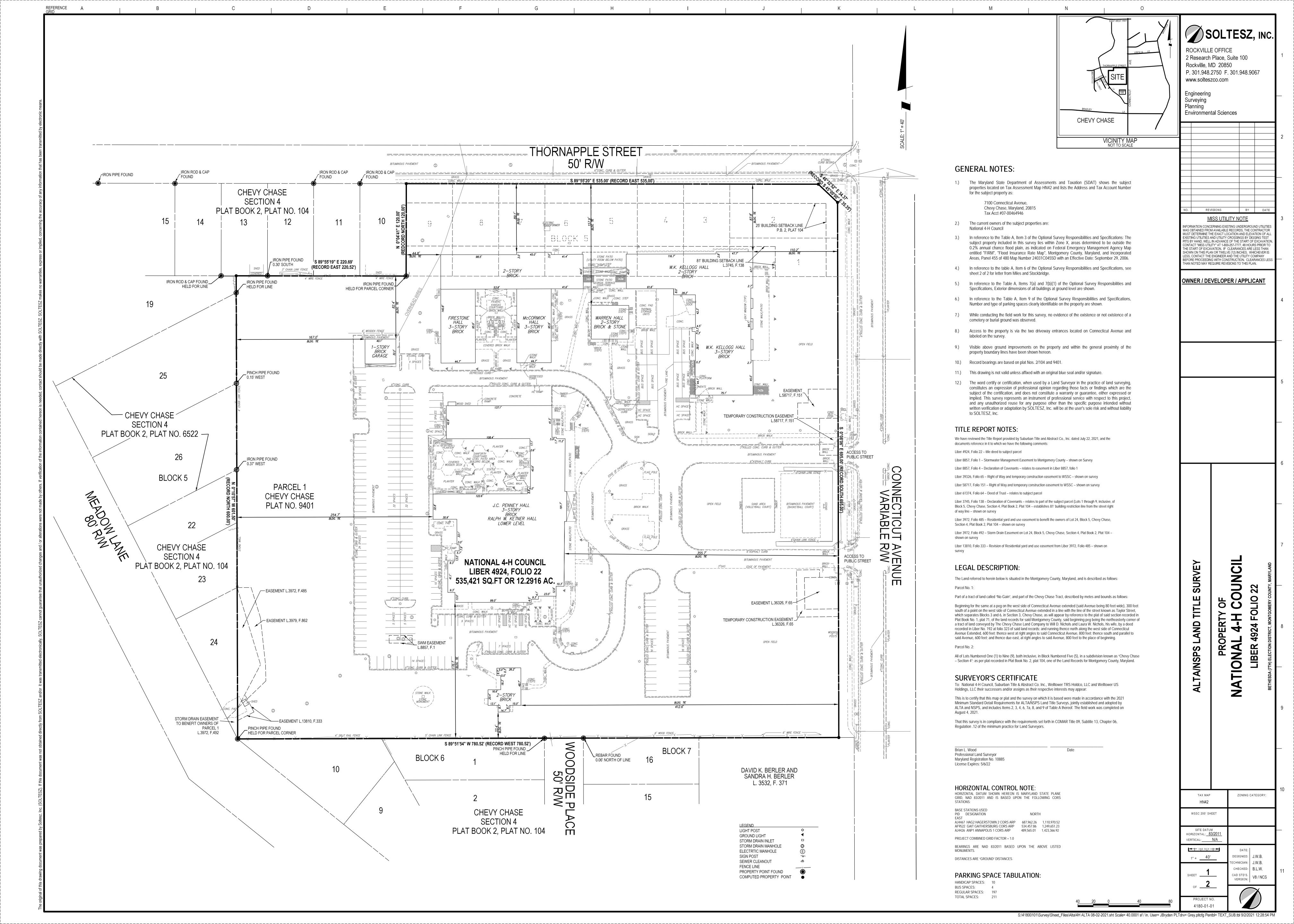
Signed





1 inch = 250 feet





Scott C. Wallace 301.517.4813 swallace@milesstockbridge.com

August 18, 2021

Mr. Joseph Whitehouse WNSL Owner, LLC c/o Kisco Development, LLC 5790 Fleet Street, Suite 300 Carlsbad, CA 92088

Re: Zoning and Entitlements Overview for 10100 Washingtonian Boulevard, Gaithersburg, Maryland 20877 (the "Property")

Dear Mr. Whitehouse:

Our client, WNSL Owner, LLC, has asked Miles & Stockbridge to review the Property's zoning and entitlement status with regard to the proposed development of a multi-family senior housing project on the Property (the "Project"). This review is based on available public records and documents, including real property information from the State of Maryland Department of Assessments and Taxation ("SDAT"), the Land Records of Montgomery County (the "Land Records"), the City of Gaithersburg Zoning Ordinance (the "Zoning Ordinance"), the City Zoning Map, and the files of the City's Planning and Code Administration ("PCA"). For purposes of this review, we have assumed the accuracy and completeness of these collected materials.

This review is not a zoning opinion and should not be relied upon as such. This review is intended merely to provide you with basic and preliminary information on the Property where readily available. We note that Miles & Stockbridge has not been provided with an ALTA survey. Therefore, the matters discussed in this letter may be affected by matters affecting survey and title. Lastly, as of the date of this letter, we have no continuing obligation to monitor or update the information contained herein.

I. The Property

The Property consists of a single, subdivided record lot shown as "Lot 9" on a plat titled "Lot 9 and Parcel A, Block D, Washingtonian Center" and recorded among the Land Records as Plat No. 24912 (the "Record Plat"), attached as Attachment "1". According to the Record Plat the Property contains 8.5258 acres. The Property is currently unimproved.

II. Current Zoning – Permitted Density and Development Standards

According to the City Zoning Map, attached as Attachment "2", the Property is zoned Mixed Use Development ("MXD"). The MXD Zone is a mixed-use zone that permits a variety of

11 N. WASHINGTON STREET, SUITE 700 | ROCKVILLE, MD 20850-4276 | 301.762.1600 | milesstockbridge.com BALTIMORE, MD • EASTON, MD • FREDERICK, MD • RICHMOND, VA • TYSONS CORNER, VA • WASHINGTON, D.C.

Mr. Joseph Whitehouse

MILES & STOCKBRIDGE P.C.

commercial, retail, and residential uses, including multi-family housing for the elderly. With regard to permitted residential density in the MXD Zone, Section 24-160D.4 of the Zoning

> [T]he residential density in the MXD Zone shall not exceed the residential density or total number of dwelling units stated in the applicable master plan, if any. The total number of dwelling units and the corresponding overall density, as well as the approximate location of such units, shall be established at the time of sketch plan approval pursuant to Section 24-160D.9(a).

The Property is subject to the recommendations of the 2003 City Master Plan (the "Master Plan"). The Master Plan confirmed the MXD Zone for the Property and did not state a maximum number of residential units permitted for the Property. As discussed in detail below, the maximum permitted residential density for the Property (330 units of housing for the elderly) was established at the time of Sketch Plan approval.

III. Current Entitlements

A. Fourth Amendment to Annexation Agreement

Development of the Property is subject to the terms and conditions of the Fourth Amendment to Annexation Agreement among Washingtonian North Associates, LLC, SHA Capital Investments, LLC, and the City of Gaithersburg, dated July 27, 2018 and recorded in the Land Records at Liber 56441, folio 223 (the "Amended Annexation Agreement"), attached as Attachment "3". Paragraph 2 of the Amended Annexation Agreement provides:

> Development on the Property shall be limited to a maximum of 330 units, which shall include a mix of residential units that Gaithersburg defines as "Housing for the Elderly," including Independent Living units, Assisted Living units, Memory Care, and Skilled Nursing units in one or more buildings and to be constructed in one phase, as shown on the Proposed Land Use/Sketch Plan Exhibit and in accordance with the Maximum Density Table Percentage of Units included thereon, attached hereto and

¹ Pursuant to Section 24-1 of the Zoning Ordinance, "Housing for the elderly" is defined as a "building or buildings containing residential units and related accessory facilities, such as dining, recreational services or therapy areas, where the occupancy of the dwellings is restricted to elderly persons as defined herein. Such facilities may include independent living, assisted living, day care, skilled nursing facilities, memory care, or other services to the elderly persons of the community. Any combination of the foregoing uses may be allowed and still be considered as qualifying under this definition."

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Mr. Joseph Whitehouse August 18, 2021



incorporated by reference herein as Exhibit "2" (previously defined herein as the "Project"). All of the units in the Project shall be limited to occupancy by elderly persons as included in the definition of persons, elderly in Section 24-1 of the Gaithersburg Zoning Ordinance in effect as of the date of this Amendment, so that occupancy shall be restricted to persons who are sixty-two (62) years of age or over or families where either the head of household or his or her spouse or his or her partner is sixty-two (62) years of age or older. No building constructed in the Project shall exceed 80 feet in height as measured in accordance with the definition of "building height" in Section 24-1 of the Gaithersburg Zoning Ordinance as of the date of this Amendment.

The Sketch Plan referenced in Paragraph 2 of the Amended Annexation Agreement (Exhibit "2" to Attachment "3") shows a building envelope for permitted development and the approximate size and configuration of required conservation easements. The Notes on the Sketch Plan also provide certain standards for development on the Property, including a maximum permitted density of 330 units of housing for the elderly and a maximum building height of 80'.

The Amended Annexation Agreement also includes, at Paragraph 5, certain proffers required as a condition of development on the Property as follows:

> SHA [Capital Investments, LLC] agrees to support and facilitate its residents' use of the Benjamin Gaither Center ("Center") and shall: (i) pay to the City at the time of receipt of the Project's first building permit the amount of Fifty Thousand Dollars (\$50,000.00) for use by the Center; (ii) provide a qualified SHA associate to teach a onehour memory care class weekly at the Center; (iii) pay the annual membership fee (based on the fee rate for City residents) for the Center for any of its residents that join the Center; (iv) provide transportation at no cost to its residents to and from the Center; and (v) promote activities and events at the Center to its residents. SHA shall be obligated to provide items (ii) through (v) above to the Center for a maximum period of five years from the date of initial occupancy of the Project so long as the Center is open and being used as a senior center and the Project is still in operation.

Finally, the Amended Annexation Agreement provides, at Paragraph 4, the requirements for affordable housing units, including the percentage of each type of unit (independent living, assisted living, memory care and skilled nursing) that must be provided as affordable units and the formula for determining permitted fees for affordable units. We note that the affordable housing requirements for the Project were subsequently established in the Affordable Housing Plan dated June 25, 2021, attached as Attachment "4".

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Mr. Joseph Whitehouse August 18, 2021



B. Schematic Development Plan (SDP) – 8091-2018

Development of the Property is subject to the terms and conditions of SDP-8091-2018 (the "SDP") approved, with conditions, by the Mayor and City Council of Gaithersburg by Resolution No. R-45-19 dated July 1, 2019 (the "Resolution"), attached as Attachment "5". A copy of the stamped, approved SDP is attached as Attachment "6". The SDP was approved for 310 units of housing for the elderly and associated amenities in a single building. The applicable development standards for the Project, including building setbacks, height, and parking requirements, are shown on Sheet 1 of the SDP. The Resolution states, as a required finding for approval, that the SDP is consistent with the Amended Annexation Agreement and associated Sketch Plan.

C. Site Development Plan (SP)-8250-2019 as Amended

Development on the Property is also subject to SP-8250-2019 (the "Site Plan"), approved, with conditions, by the City Planning Commission by letter dated December 4, 2019. The Site Plan was approved for development of housing for the elderly with a maximum of 310 units. The Site Plan was subsequently amended to accommodate minor changes to the development program, building architecture, building footprint and site design. The most recent Site Plan Amendment, designated AFP-8917-2021, was approved by Planning Commission Staff by letter dated June 28, 2021 (the "June 2021 Site Plan"), attached as Attachment "7". A copy of the stamped, approved June 2021 Site Plan is attached as Attachment "8". The June 2021 Site Plan was approved for the development of 302 senior living units, including a mix of independent, assisted living and memory units, intergraded structured parking and associated amenities on the Property.

Pursuant to Section 24-173(a) of the Zoning Ordinance:

one or more of the uses proposed for land which is the subject of the site development plan shall be established on such land within two (2) years after the date of approval of the plan or the plan shall become void; provided, that the planning commission may extend such time upon request filed within the two-year period and may grant further a one-year extension upon request filed within the period of any extension; provided, that the total length of the original approval and extension shall not exceed three (3) years. Such extension requests may be processed as consent items as described in Section 24-172A(a).

Section 24-173(c) of the Zinging Ordinance further provides the "[w]here the site development plan contemplates the construction of one or more new buildings or structures, the use shall be established within the meaning of this section when construction of one or more of such buildings has been commenced." The approval letter for June 28, 2021 Site Plan states the

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Mr. Joseph Whitehouse August 18, 2021 Page 5

MILES & STOCKBRIDGE P.C.

approval expires on June 28, 2023. Construction of the Project pursuant to the June 2021 Site Plan must commence by that date, or an extension approved by the City, or the Site Plan will be void.

In summary, based on the foregoing it appears that development of the Project consisting of up to 302 units of housing for the elderly and shown on the June 2021 Site Plan is permitted provided that the developer duly and timely obtains, and complies with the terms and conditions of, all permits, licenses, and approvals as are required in connection with particular improvements and structures, such as grading and stormwater management permits, building permits, sign permits, utility connections, and use and occupancy certificates.

We hope this information is helpful to you. If you have any questions, please do not hesitate to contact me. Thank you.

> Very truly yours, Scott C. Wallace

Attachments

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SOLTESZ, INC. ROCKVILLE OFFICE 2 Research Place, Suite 100 Rockville, MD 20850

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site datum horizontal: <u>83/2011</u> vertical: <u>N/A</u>	HN42 WSSC 200' S SITE DAT HORIZONTAL:	неет um 83/2011	ZONIN	NG CATEGO!	RY:
HORIZONTAL: 83/2011 VERTICAL: N/A DATE: 1" = N/A DESIGNED: J.W.B. TECHNICIAN: J.W.B.	WSSC 200' S SITE DAT HORIZONTAL: VERTICAL:	HEET UM 83/2011 N/A	DAT DESIGNE TECHNICIA	E: D: J.W.B N: J.W.B	
HORIZONTAL: 83/2011 VERTICAL: N/A DATE: 1" = N/A DESIGNED: J.W.B.	WSSC 200' S SITE DAT HORIZONTAL: VERTICAL: 1" = N/ SHEET	HEET UM 83/2011 N/A	DAT DESIGNE TECHNICIA CHECKE CAD STD'	E: D: J.W.B N: J.W.B D: B.L.W S. V8 / N	

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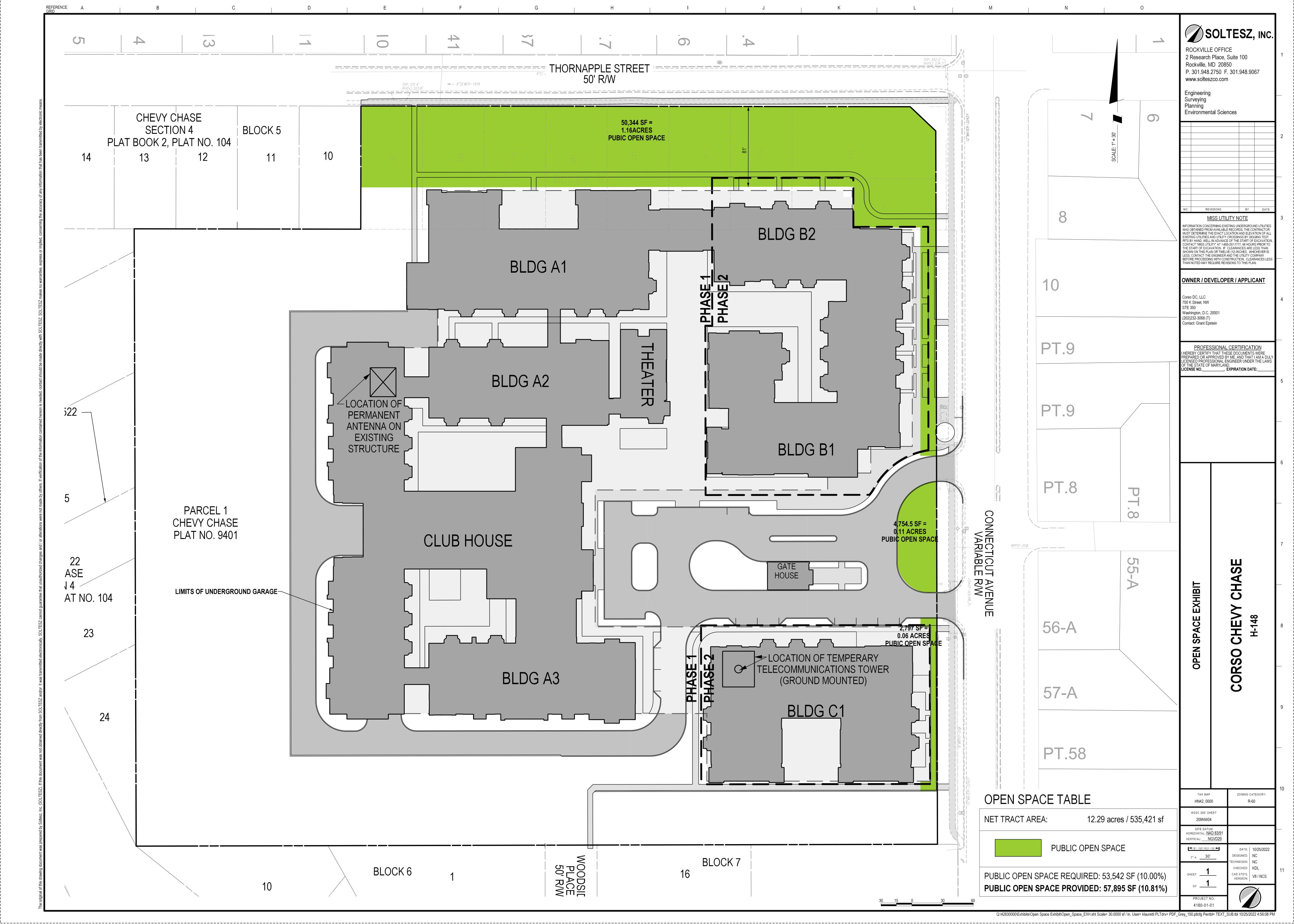
LEGAL DESCRIPTION

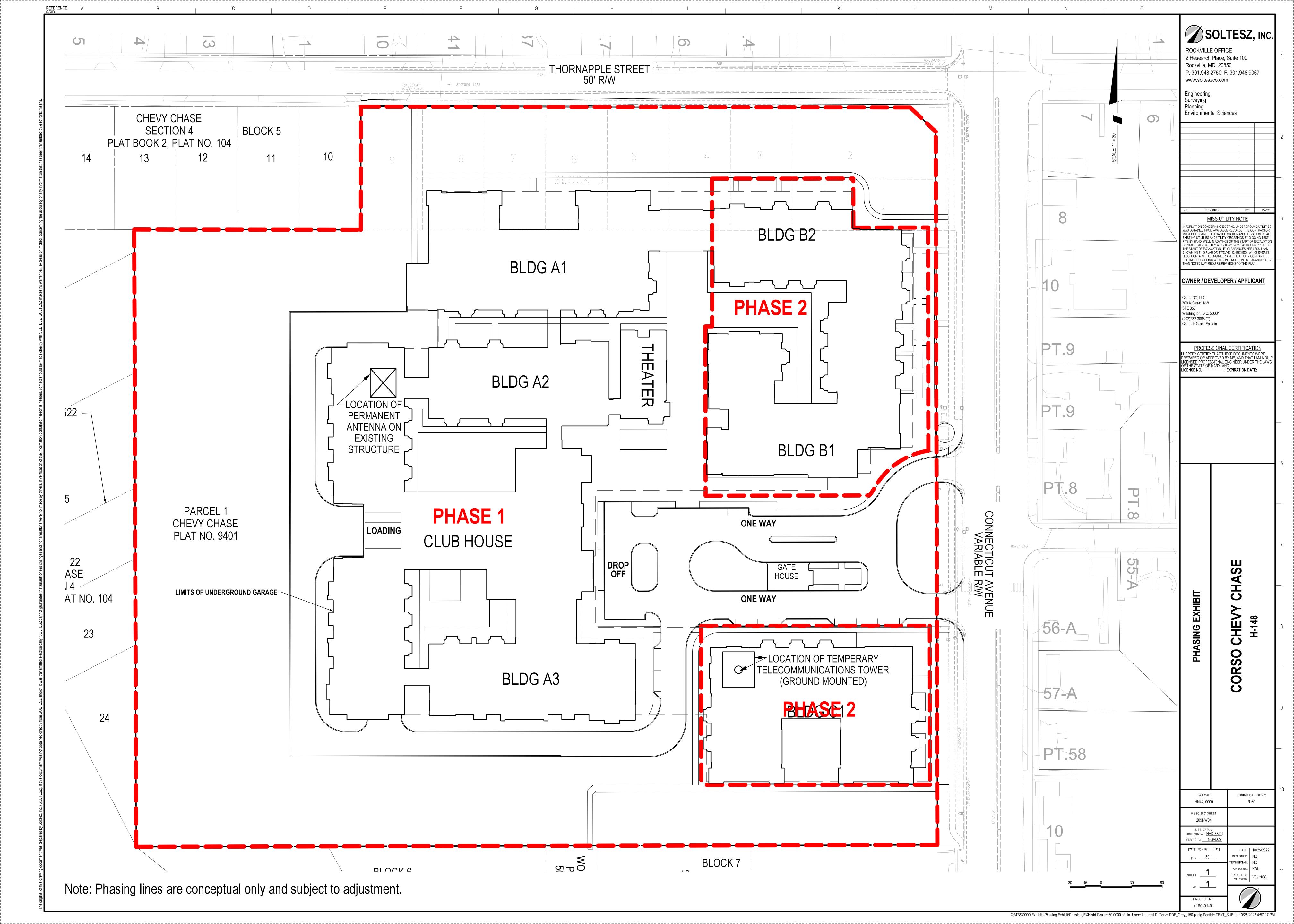
Being situated in Montgomery County, Maryland and identified as Montgomery County Tax Account Number 00464946, the said land shown hereon is all of that piece or parcel of land shown as Parcel 1, on a plat entitled "Parcel 1, Block 5, Section 4, Chevy Chase" recorded among the Land Records of Montgomery County, Maryland in Plat Book 88, as Plat No. 9401 and is further described as now surveyed in the Maryland State Plane, NAD 83/2011 datum as follows.

Beginning for the same at an Iron Pinch Pipe found along the eastern right of way line of Meadow Lane as shown on a plat recorded among the said land records in Plat Book 2, Plat No. 104 (Plat No. 104), marking the southwestern most corner of the herein described land and also marking the southernmost corner of Lot 24, Block 5, Chevy Chase, Section 4 as shown on the said Plat No. 104 along with the northwestern most corner of Lot 10, Block 6, Chevy Chase, Section 4 as shown on the said Plat No. 104. Said Iron Pinch Pipe having coordinates in the Maryland State Plane, NAD 83/2011 datum of North 478,367.47, East 1,289,561.16. Thence, departing said point so fixed and binding along the rear of the said Lot 24, Block 5, Chevy Chase, Section 4 and the rear of Lots 23 and 22 along with the rear of Lots 26 and 25 as shown on a plat entitled "Lots 25 & 26 – Block 5, (A Resubdivision of Lots 20, 21 & Part of 22), Section 4, Chevy Chase", recorded among the Land Records of Montgomery County, Maryland as Plat No. 6522, along with the rear of Lot 19, Block 5, Chevy Chase, Section 4, per plat no. 104,

- 1. North 00°10′57″ West, 601.50 feet to a point along the rear of Lot 13, Block 5, Section 4, Chevy Chase as shown on a plat recorded among the Land Records of Montgomery County, Maryland in Plat Book 2, as Plat No. 104; thence, departing the rear of the said Lot 19 and binding along the rear of Lots 13, 12, 11 and 10 of the said Block 5, Section 4, Chevy Chase as shown on a plat recorded among the Land Records of Montgomery County, Maryland in Plat Book 2, as Plat No. 104,
- 2. South 89°55′19" East, 220.69 feet to an Iron Pipe Found; thence binding along the common boundary line between Lot 10 and Lot 9 as shown on a plat recorded among the Land Records of Montgomery County, Maryland in Plat Book 2, as Plat No. 104,
- 3. North 00°04′41″ East, 120.00 feet to an Iron Rod and Cap set along the southerly right of way line of Thornapple Street; thence binding along the southerly right of way line of Thornapple Street and along the front of Lots 9, 8, 7, 6, 5, 4, 3, and 2, Block 5, Chevy Chase as shown on said plat in Plat Book 2, Plat No. 104,
- 4. South 89°55'20" East, 535.00 feet to an Iron Rod and Cap set; thence,
- 5. South 46°32'52" East, 34.37 feet to an Iron Road and Cap set along the westerly right of way line of Connecticut Avenue as shown on the aforementioned plat entitled "Parcel 1 in Block 5, Section 4, Chevy Chase" recorded among the Land Records of Montgomery County, Maryland in Plat Book 88, Plat No. 9401; thence binding along the westerly right of way line of Connecticut Avenue,
- 6. South 00°08'06" East, 695.00 feet to an Iron Rod and Cap set along the northerly boundary line of the land of David K Berler and Sandra H. Berler, Liber 3532, folio 371; thence binding along said Berler lands along with the northerly boundary line of Lot 16, Block 7, the northerly end of Woodside Place (50' Public Right of Way) and the northerly boundary line Lot 1 and Lot 10, Block 6, Section 4, Chevy Chase as shown on said plat in Plat Book 2, as Plat No. 104,
- 7. South 89°51′54″ West, 780.52 feet to the **Point of Beginning**, containing 535,421 square feet or 12.2916 acres of land, more or less.

This description is the same property described in the Commitment for Title Insurance provided by Stewart Title Guaranty Company, File No. 21-0470 LS and also the same property described in a deed between The National 4-H Club Foundation of America, Incorporated and National 4-H Council dated February 21, 1977 and recorded among the Land Records of Montgomery County, Maryland in Liber 4924, folio 22.





THORNAPPLE

Maas, = 220,52' Record = 220,00'

(Plat Book-28-2- Flot 104

BLOCK 5

19

STREET

3

OWNER'S DEDICATION

We, The National 4-H Club Foundation of America, Incorporated, a Delaware Corporation by Hanry M. Hansan, Chairman Board of Trustacs, and Grant A. Shrum, Sacratary, Tradsurar, owners of the property shown and described hereon, hareby adopt this plan of subdivision, establish the minimum building restriction line, and dedicate the street.

There are no suits of action, leases, liens, mortgages or trusts affecting the property.

Data: august 35 1969

THE NATIONAL 4-H CLUB FOUNDATION OF AMERICA, INCORPORATED

HENRY M. HANSEN, CHAIRMAN

SURVEYOR'S CERTIFICATE

I hereby cartify that the plan shown hereon is correct; that it is a subdivision of the land convayed by Chary Chare Junior College to The National 4-H Club Foundation of America Incorporated by dead dated February 9, 1951 and recorded in Liber 1491 at Folio 177 among the land records of Montgomery County, Maryland. Subject to restrictions of record. Iron pipe shown thus: , and concrete monuments shown thus: , are in place where indicated.

> John J. allen Jr John J. Allen, Jr. Ragisterad Lond Survayor, No. 2206

PARCEL I IN BLOCK 5 SECTION 4 CHEVY CHASE

MONTGOMERY COUNTY, MARYLAND

August, 1969

ALLEN AND KOENIG, Lond Planners & Surveyors 4801 MONTGOMERY LANE BETHESDA, MARYLAND

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