

**LOCAL MAP AMENDMENT APPLICATION
DISCLOSURE STATEMENT
(Revised February 7, 2019)**

State law requires that each and any Applicant for a local zoning map amendment, or Party of Record, who has made a contribution to a candidate for County Executive or County Council of \$500.00 or more, calculated cumulatively for the four-year election cycle either before the filing of the application or during the four-year cycle within which the application is pendent, must disclose the name of the candidate to whose treasurer, political committee, or slate the contribution was made, the amount and the date of the contribution.

A Disclosure Statement must be filed when the application is filed or within two weeks after entering the proceeding by a Party of Record and be updated within 5 business days of any contribution made after the filing of the initial disclosure and before final disposition of the application by the District Council. If more than one contribution is made, please specify in the space provided below each contribution and to whom it was made. **If more than one applicant is involved in a single application, each applicant must file this statement.**

Subject to the penalties of perjury, I, CORSO DC LLC

(NAME OF APPLICANT FOR LOCAL MAP AMENDMENT
OR PARTY OF RECORD)

HEREBY AFFIRM that the contents of this statement are true to the best of my

knowledge, information and belief, and that: (SELECT EITHER 1 OR 2 BELOW AND CHECK
APPROPRIATE STATEMENT)

1. ☐ I HAVE made a contribution of _____
(FILL IN AMOUNT OF CONTRIBUTION IF \$500
OR MORE, OR STATE N/A IF NOT APPLICABLE)

on _____
(FILL IN DATE (MONTH, DAY AND YEAR) OF CONTRIBUTIONS),

to the following candidate's treasurer, political committee, or slate:

(FILL IN NAME OR NAMES OF CANDIDATE, OR STATE N/A IF INAPPLICABLE)
(If more space is required, use the back of this form.)

2. ☒ I HAVE NOT made a contribution requiring disclosure.

[Signature]
SIGNATURE OF DECLARANT

This Statement is filed in compliance with the public ethics requirements of Md. Code Ann, General Provisions, §§5-842 through 5-845; 2014 Md. Laws Ch. 94. A person who knowingly and willfully violates this part is guilty of a misdemeanor and on conviction is subject to a fine not exceeding \$ 1,000.

For convenience, several definitions in State law are contained on the next page.

Subscribed and sworn to me, a Notary Public for FULTON County, Georgia

22 day of September, 2022

NOTARY PUBLIC

My Commission Expires: 12/16/2024



OFFICE OF ZONING AND ADMINISTRATIVE HEARINGS
MONTGOMERY COUNTY, MARYLAND
100 Maryland Avenue, Room 200
Rockville, Maryland, 20850
(240) 777-6660
{Form Revised 2-7-19}

OZAH LMA No. H-_____
Date Certified by Planning _____
Date OZAH Accepts for Filing _____
Scheduled Hearing Date _____

**Application for Local Map Amendment to the Zoning Ordinance
Montgomery County, Maryland**

CORSO DC LLC

Name of Applicant(s)

hereby makes application with the County Council for Montgomery County, Maryland, sitting as a District Council for that portion of the Maryland-Washington Regional District within Montgomery County, for the reclassification of property located in the _____ 7th _____ Election District of Montgomery County and known as

Parcel 1, Block 5, "Section 4, Chevy Chase" subdivision, as recorded at Plat No. 9401.

Lot, Block and Subdivision if boundaries conform to lot boundaries a subdivision for which a plat is recorded among the land records, or a description by metes, bounds, courses and distances, and plat references.

located at 7100 Connecticut Avenue, Chevy Chase, MD 20815

City, town, village or community and street number, or if none, the location with respect to nearby public roads in common use.

consisting of 12.29 acres

Area in square feet if less than 1 acre, or in acres if one or more

from the R-60

Present classification

Zone to the CRNF-1.5, C-0.25, R-1.25, H-70'

Requested classification

Zone

Tax account number(s) 07-00464946

Name and address of owner(s), if other than applicant _____

List all persons having at least a 5% interest in property, including those holding mortgages, liens, etc., and all contract purchasers, optional purchasers and persons holding mortgages, etc.

Tim Gary, The Sarah P Gary Trust, The Gary 2017 Family Trust, and

Eagle Bank (mortgagee)

Listed below are the Application numbers, dates of filing and actions taken on all applications filed within 3 years prior to this date on any land lying anywhere within the same larger lot, parcel or tract of land in which the above-described land is located.

Application Number

Date

Action Taken

Please note that if previous Local Map Amendment applications were filed for the subject property, filing of subsequent Local Map Amendment applications are limited as specified in Zoning Ordinance §59.7.2.1.G.

I have read the REVISED NOTICE REGARDING LOCAL MAP AMENDMENT APPLICATIONS FILED AFTER MAY 1, 2014 and the CHECKLIST FOR LOCAL MAP AMENDMENT (LMA) APPLICATIONS accompanying this form on OZAH's website, and I am filing herewith all of the required accompanying information. I hereby affirm that all of the statements and information contained in or filed with this Application are true and correct.



Steven A. Robins

Signature of Attorney - (Please print next to signature)

Lerch, Early and Brewer, Chtd., 7600 Wisconsin Ave., Suite 700, Bethesda, MD 20814

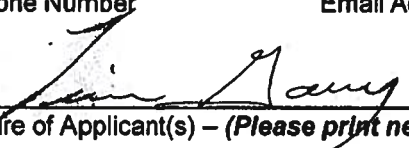
Address of Attorney

301-657-0747

Telephone Number

sarobins@lerchearly.com

Email Address



Signature of Applicant(s) - (Please print next to signature)

CORSO DC LLC

3424 Peachtree Road NE, Suite 1780, Atlanta, GA 30326

Address of Applicant(s)

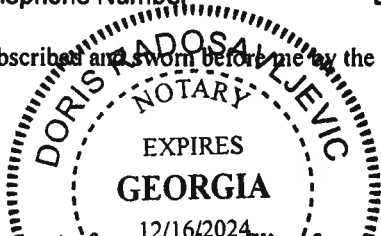
678-677-8900

Telephone Number

Tim@galerieliving.com

Email Address

Subscribed and sworn before me by the Applicant(s), this 22 day of September, 2022.


Notary Public

Payment of appropriate filing fee must accompany this application. See Fee Schedule. Twenty-five percent of the specified fee must be paid directly to the Planning Department when this application is submitted for review of completeness. The remaining 75 per cent of the specified fee and all sign fees must be paid directly to OZAH when the application is filed with OZAH after it has been certified by the Planning Department.. No part of such fee shall be refunded unless such refund and amount thereof is allowed under Zoning Ordinance Section 59.7.6.5.B.

Applicant is required to post the property covered by this application within 5 days from acceptance of filing, in accordance with Zoning Ordinance Section 59.7.5.2.C., with a sign or signs to be furnished by the Office of Zoning and Administrative Hearings. An affidavit of posting, as required by the Zoning Ordinance, must be presented at the hearing on the application.

Under Zoning Ordinance §59.7.2.1.B.7, new public notice must be provided for any modification to an application requesting an increase in the area proposed to be reclassified or requesting a change to the zoning classification.



Intake and Regulatory Coordination
Montgomery County Planning Department
Maryland-National Capital Park and Planning Commission

1 of 2

Effective: January 29, 2021

2425 Reddie Drive
Wheaton, Maryland 20902

www.montgomeryplanning.org

Phone 301.495.4550
Fax 301.495.1306

FOREST CONSERVATION PLAN APPLICATION

☒ Preliminary FCP ☐ Final FCP ☐ Amendment

Date Application Filed: _____

CLEAR FORM

An application will not be accepted for review unless all required information below and appropriate fees are provided. If an item requires more space, attach a separate sheet.

Name of Plan: Corso Chevy Chase

Size of property tract: 12.29 Acres 535,421.00 SF

200-scale Base Map # 209NW04 Tax Map # HN42 Special Protection Area Not within an SPA

Property Tax Account Number(s) associated with the plan (8 digits)

A. 464946 B. _____ C. _____ D. _____ E. _____
F. _____ G. _____ H. _____ I. _____ J. _____

Location:

On 7100 Connecticut Avenue 50 feet West of Taylor Street
Street Name (N,S,E,W, etc.) Nearest Intersecting Street

Subdivision Information: (Complete either A, if located within a recorded subdivision, or B)

A. Lot(s) _____ Block(s) ⁵ _____ Subdivision 0011 Plat(s) _____
B. Parcel P000 Liber _____ Folio _____; Parcel _____ Liber _____ Folio _____; Parcel _____ Liber _____ Folio _____
Parcel _____ Liber _____ Folio _____; Parcel _____ Liber _____ Folio _____; Parcel _____ Liber _____ Folio _____

Primary Contact (Person who will be the primary contact and point person for future electronic review process.)

Soltesz, Inc. Keely Lauretti
Company Name Contact Person
2 Research Place, Suite 100
Street Address
Rockville MD 20850
City State Zip Code
(301) 948-2750
Telephone Number Fax Number E-mail rockgroup2@solteszco.com
NOTE: This email will be used to create the ePlans project account.

Applicant ✓ Owner, Owner's Representative, or Contract Purchaser – check applicable (written verification required if not the owner)

Would you like to receive ePlans notifications? * Yes ✓ No

Corso DC, LLC Grant Epstein
Company Name Contact Person
700 K Street, NW
Street Address
Washington DC 20001
City State Zip Code
(202) 232-3068
Telephone Number Fax Number E-mail gwe@communitythree.com
*required if checked yes

FCP Plan Preparer (Qualifications of preparer must be included if individual has not been previously certified.)

Would you like to receive ePlans notifications? * Yes No

Wetland Studies and Solution, Inc.

Michael Klebasko

Company Name**Contact Person**

1113 Benfield Boulevard, Suite L

Street Address

Millersville

MD

21108

City**State****Zip Code**

(703) 679-5742

mklebasko@wetlands.com


Telephone Number**Fax Number****E-mail** *required if checked yes**Supplemental Information:**

Previous Plan Submittals: (enter information, if applicable)

Type	Case No(s).
Zoning Case	
Development Plan/Schematic DP	
Special Exception	CBA4217
Variance	
NRI/FSD (if applicable)	420222220
SWM Concept (if applicable)	
Pre-Application	
Sketch Plan	
Project Plan	
Preliminary Plan	
Site Plan	

If this is an amendment, is it in response to a forest conservation citation or notice of violation? ☐ Yes ☒ NoIs a Tree Variance being submitted? ☒ Yes ☐ No**Applicant's Signature**

Applicant hereby notifies that he/she ☒ is the sole owner of the subject property, ☐ is otherwise legally authorized to represent the owner(s) (written verification provided), or ☐ is a contract purchaser authorized to submit this application by the property owner (written verification provided).

Signature of Applicant (Owner, Owner's Representative, or Contract Purchaser) *written verification needed if not the owner*


Signature

9/23/2022

Date

Grant Epstein

Name (Type or Print)

**Land Use Report
Local Map Amendment
Corso Chevy Chase**

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I. Overview

CORSO DC, LLC (the "Petitioner") is submitting this Local Map Amendment application to rezone the property located at 7100 Connecticut Avenue in Chevy Chase, Maryland (the "Property"). Specifically, the Petitioner requests approval of a Local Map Amendment ("LMA") for the application of a Floating Zone to rezone the Property from the R-60 zone to the Commercial Residential Neighborhood Floating Zone ("CRNF") – CRNF-1.5, C-0.25, R-1.25, H-70'.

As discussed more fully below, the proposed rezoning to the CRNF zone will accommodate the desired redevelopment of the Property with a senior living community with up to approximately 700,000 square feet, including a Residential Care Facility (over 16 persons) containing up to 287 independent dwelling units and 190 assisted living beds and 30 memory care beds, and up to 5,000 square feet of commercial/retail use (which, while primarily intended to serve Project residents, will be made available to the public) (the "Project"). The Project layout and architecture has been designed to ensure compatibility with the surrounding neighborhood. Additionally, the proposed use will satisfy all applicable standards of the Zoning Ordinance and substantially conform with the goals and recommendations of the *1990 Approved and Adopted Bethesda-Chevy Chase Master Plan* (the "Master Plan").

There is a significant need for more senior housing in the County, as a whole. As such, the Project provides an important opportunity to develop high-quality senior housing, at varying levels of care, which will serve County residents and allow them to stay in their community, close to family and friends, as they age.

Subsequent to approval of the Local Map Amendment, the Petitioner will seek Site Plan approval from the Montgomery County Planning Board (the "Planning Board") to allow for the redevelopment of the Property.

II. Background

A. Background on Petitioner

Corso DC, LLC is led by a development and operations team that has extensive experience in creating first-class development projects locally and across the country.

Galerie Living is a developer, owner and operator of senior housing facilities across the United States and will operate the senior housing facility on the Property. Galerie Living strives to create "unexpected happiness in life" for seniors, families and communities. Building upon a collection of assisted living residences and communities 20+ years in the making, Galerie Living

has set the standard for the best in senior living across the country. It's core values encourage connection, dignity and joy for residents, families and staff. Given that Galerie is a long-term owner and operator, Galerie is committed to ensuring that every project fulfills the needs of the residents and also is compatible with the surrounding community.

Community Three, a local development company with vast experience in all facets of real estate development is leading the entitlement process for the Project. Community Three and its vast group of industry-leading advisors combines its decades of real estate expertise with seasoned technical ability to create great “places” to live, work, and play. It leverages existing conditions and local input to navigate the balance between a need for progress and a hesitancy for change. Community Three has led dozens of effective redevelopment efforts throughout the County and the greater Washington Metropolitan Area and brings this successful pedigree to this project.

B. Collaboration with the Town of Chevy Chase

The Petitioner has held multiple formal and informal meetings with the Town of Chevy Chase, the municipality in which the Property is located, to solicit feedback on the redevelopment. Through these discussions, the Town of Chevy Chase and its residents have identified several top priorities for the redevelopment, including:

- Traffic Management: avoiding traffic cut-through on surrounding residential streets by limiting vehicular access to Connecticut Avenue;
- Forest Conservation: preserving the existing tree canopy and wildlife environment on the west side of the campus; and
- Balanced Integration: ensuring purposeful and measured pedestrian connectivity and limited shared amenities and programs.

As illustrated in the discussion below, the Petitioner has incorporated these comments into the overall Project. Additional detail on the Petitioner's community outreach efforts is contained in Section IX of this Report.

III. Property Description

A. Site Location and Existing Conditions

The Property is prominently located along Connecticut Avenue, at the southwest corner of the intersection of Connecticut Avenue and Thornapple Street. The Property is more particularly known as Parcel One (1), Block Five (5) in the subdivision known as “Section 4, Chevy Chase” as recorded among the Land Records for Montgomery County, Maryland at Plat No. 9401. The

Property has a net lot area of approximately 535,421 square feet¹ and a gross tract area, including land previously dedicated to public use, of 594,271 square feet.

The Property is a long-standing institutional use. Specifically, the Property is improved with five large, two- and three-story buildings and associated surface parking, most recently operating as the National 4-H Conference Center. Collectively, the existing buildings comprise approximately 250,000 square feet of gross floor area.

The Property was most recently used as a retreat, hotel, conference center, and office space for the National 4-H Council and its guests. Over the past decade, the usefulness of the center diminished as visitors desired greater access to downtown Washington, DC and the cost of maintaining such a facility grew beyond the value of its programs. The existing buildings have resultantly succumbed to years of deferred maintenance and are by many measures, derelict and at the end of their useful life. As a result, the existing buildings will be demolished in connection with the future redevelopment of the Property.

The Project will succeed in redeveloping of the dilapidated existing institutional uses with a compatible, residential-scaled, senior housing community. An existing tree canopy exists along the northern, western and portions of the southern boundaries of the Property. The Project retains this existing canopy, which will continue to provide both a physical and visual buffer from the surrounding homes.

No change is proposed to the existing site access. Vehicular access to the Property will continue to be provided via two, one-way access points along Connecticut Avenue.

B. Zoning and Permitted Uses

This Local Map Amendment requests approval for the application of a Floating Zone to the Property, to rezone the Property from the R-60 Zone to the CRNF-1.5, C-0.25, R-1.25, H-70' Zone.

Sections 5.3.3.A.1 and 3.1.6 of the Montgomery County Zoning Ordinance (the "Zoning Ordinance") permit Retail/Service Establishments up to 5,000 square feet by right in the CRNF Zone. A Residential Care Facility (Over 16 Persons) is permitted as a limited use in the CRNF Zone, subject to compliance with the requirements in Section 3.3.2.E.i of the Zoning Ordinance. The Petitioner will subsequently seek Site Plan approval from the Montgomery County Planning Board, in compliance with the limited use standards.

¹ The net lot area is based on the ALTA Survey, which reflect an additional 221 square feet of land area, as compared to the underlying Plat.

C. Surrounding Zoning and Land Uses

The Property is a long-standing institutional use that is surrounded by single-family residential uses, zoned R-60, on all sides. The surrounding homes range in size from approximately 3,000 square feet to 5,100 square feet. Additionally, confronting the Property across Connecticut Avenue is the Chevy Chase United Methodist Church, also zoned R-60.

IV. Proposed Development

The Petitioner is proposing to redevelop the Property with a residential-scaled senior housing development. The Project will contain up to approximately 700,000 square feet, including a Residential Care Facility (over 16 persons) containing Independent Living, Assisted Living and Memory Care services, and up to 5,000 square feet of commercial/neighborhood-serving retail use (which, while predominately intended for use by Project residents, will be made publically available), along with associated structured and ancillary surface parking, open space, and amenities. The senior housing component of the Project will provide three levels of care, support, and special assistance to residents 62 years of age and older. Currently the Project is anticipated to include up to 287 independent dwelling units and 190 assisted living beds and 30 memory care beds, with 15 percent moderately priced dwelling units ("MPDUs") (or up to 63 MPDUs)². The co-location of these different senior housing uses on the Property will allow residents to age in-place, by providing a continuum of varying levels of support and care to meet the evolving needs of residents as they age.

The design of this Project is residential in nature and includes several buildings with heights ranging from four- to five-stories, with the taller heights oriented toward the center of the Property and lower heights adjacent to the perimeter of the site. The Petitioner has strategically designed the Project to maintain much of the existing tree canopy along the northern, southern and western property boundaries to preserve the natural screening that exists today. This natural buffering and the resulting building setbacks (which significantly exceed the minimum setbacks required in the CRNF Zone) will provide extensive screening from the surrounding residential uses and ensure compatibility of the Project with the surrounding neighborhood. While this natural buffer will be generally maintained on three sides, the proposed buildings will be appropriate oriented towards Connecticut Avenue to help activate and define this prominent street frontage. As reflected in the Binding Elements, the building heights along Connecticut Avenue will be limited to 60 feet. As shown on the Floating Zone Plan, this height limit will carry into the site for a distances of eighty feet (80') from Connecticut Avenue. The ancillary neighborhood-serving

² MPDUs are provided for the Independent Living and Assisted Living units (420 total units), as full kitchens will be provided. No MPDUs are required for the Memory Care suites as they do not have kitchens and thus, are not classified as dwelling units.

commercial uses proposed, while predominately intended for use by Project residents, will be located along Connecticut Avenue to also serve as a benefit to the surrounding community.

The Project will provide other private, indoor and outdoor amenities for building residents, and spaces to create opportunities for residents to socialize and host visitors not only within the Property, but with the greater neighborhood at-large. These amenity spaces include, but are not limited to, a small theater, spa, pool, green house, clubhouse, multiple lounges, and various restaurants that serve three-chef prepared meals daily. The Project also will provide formal programs for residents, and coordination of various services, including: transportation services for off-site excursions; wellness programs and services; organized community service and volunteering events; holiday celebrations; and other planned social events. The Project also provides significant landscaping and outdoor amenities for use by the residents, including outdoor walking paths, courtyards, and activity areas.

The design flexibility and allowed uses in the CRNF zone will facilitate this compatible, infill development.

A. Architecture Design

The site layout and building architecture have been designed to be compatible with and complementary to the surrounding residential neighborhoods. The Project follows multiple cues established by the former, National 4-H Conference Center use. The Project presents itself as a new campus — an assemblage of building masses spread throughout the site. This new campus respects the boundaries of its predecessor and preserves the existing and mature tree canopy on the Project's north, west, and south sides. The fragmented massing of the Project allows for this green buffer to extend into the site as well, through a series of open plazas, gardens, and intimate courtyards. Additional elements such as fountains and follies enliven the landscape and bring stimulation and joy to residents and their families. This design promotes the pedestrian over the car by limiting vehicular access and locating all parking below grade.

Further sensitivity has been applied to the architectural language and expression of the Project. To root the Project in the neighborhood, the design incorporates many elements found in the surrounding context: gabled roofs, dormers, oriel and bay windows, chimneys, and a predominantly masonry material palette. These parts are composed into an English-Romantic architecture that is sympathetic to the Colonial Revival, Tudor, and similar vernacular styles in the surrounding neighborhood. While the proposed residential components are a mix of four- and five-stories, the campus also includes one-, two-, and three-story connector and amenity spaces which result in a pleasing composition of buildings at a variety of scales. The Project's height steps down as it approaches the single-family neighborhoods surrounding the Property and incorporates strategies such as bays and recessed balconies to further diminish the scale of the façades. Additionally, the pitched slate roofs hide the top floors, turning them instead into livable attics,

thus lowering the perceptible building height. The façades are enriched with detail and craft, leading to an elevated level of human-scaled design.

While the Project promotes the quality of life of its occupants above all, it includes numerous programmatic elements intended to fully integrate the Project into the broader community. Shopfronts and city home entrances activate a pedestrian-oriented frontage along Connecticut, which, along with a central fountain, draw visitors into the Gatehouse and Central Plaza. Other community amenities are sprinkled throughout the campus in a variety of boutiques, a pool and spa, and a small theater. New exterior paths enhance circulation within the campus and connectivity to the surrounding sidewalks, allowing the project to blend into the neighborhood.

The final building design will be determined during the Site Plan approval process.

B. Open Space

In accordance with the requirements of Sections 5.3.5.D.2.a and 4.5.3.C of the Zoning Ordinance, the Project will include a minimum of 10% (or 53,542 square feet) of public open space on-site. Currently, the Project is anticipated to provide approximately 57,895 square feet (or 10.81%) public open space. As required by Section 6.3.6.B of the Zoning Ordinance, this public open space will abut a pedestrian route, be a minimum of 15 feet wide, include seating and shade, and be in a contiguous space. The proposed public open space is primarily located on the north side of the Property, adjacent to Thornapple Street, adjacent to a proposed sidewalk connection, and along Connecticut Avenue. The proposed open space will provide diverse opportunities for the public to gather and socialize (along Connecticut Avenue) and connect with nature (along Thornapple Street). Given the nature of the Project, a significant amount of additional active and passive open space will be maintained throughout the Project, in excess of zoning requirements.

C. Parking and Circulation

To ensure the Project will minimize adverse impacts on the surrounding neighborhood, the Project will provide adequate parking on-site to accommodate all users of the Property.

Section 6.2.4 of the Zoning Ordinance requires, for a Residential Care Facility, a minimum of 0.5 vehicular parking spaces per dwelling unit or 0.25 parking spaces per bed, plus 0.50 vehicular parking spaces per employee. The Project will have a total of 287 independent living units, 190 assisted living beds and 30 memory care beds, with a maximum of 150 people on staff at any one time. For Retail/Service Establishments, a minimum of 3.5 spaces and a maximum of 6 spaces are required for each 1,000 square feet of gross floor area. The Project will provide up to 5,000 square feet of commercial, Retail/Service uses on-site. As such, utilizing the parking reductions in Section 6.2.3.I, collectively, the Project is required to provide a minimum of 310 parking spaces on-site and a maximum of 532.5 parking spaces. The Petitioner is currently

proposing to provide approximately 503 standard parking spaces plus 42 tandem parking spaces on-site. The parking in the Project will exceed the minimum requirements, with the final parking counts to be determined at the time of Site Plan approval.

The Project will comply with the Montgomery County Department of Permitting Services ("DPS") Loading Space Guidelines. This will be more fully addressed during the subsequent Preliminary Plan and Site Plan approval process.

As previously mentioned, vehicular access to the Property will remain unchanged. Access is currently provided via two one-way curb cuts along Connecticut Avenue, which will continue to serve the Project.

D. Civil Engineering

The Project complies with the following requirements and goals of the CRNF Zone.

1. Natural Resource Inventory/Forest Stand Delineation

The Property is subject to the requirements of Chapter 22A of the Montgomery County Code (the "Forest Conservation Law"). A Natural Resources Inventory/ Forest Stand Delineation ("NRI/FSD") (No. 420222220) was submitted for the Property on May 27, 2022, which denotes certain forested areas, significant trees, and steep slopes on the Property. A Preliminary Forest Conservation Plan has been submitted concurrently with this Application. The Project meets the forest conservation requirements through the placement of 2.94 acres of Category I Forest Conservation Easements on-site.

The Property contains no protected soils, endangered species, or other natural features not mentioned above that would impact development. The site is not located within a Special Protection Area.

2. Stormwater Management Concept Plan

The Project will comply with the requirements of Chapter 19 of the Montgomery County Code. Because the Project will result in more than 5,000 square feet of disturbance, the Petitioner will submit a Stormwater Management Concept Plan prior to submitting the subsequent Site Plan application. The Stormwater Concept must be approved by MCDPS prior to applying for a Sediment Control and Stormwater Management Permit. In accordance with 2010 MDE Stormwater Management Regulations, the site will implement Environmental Site Design ("ESD") practices to the maximum extent practicable.

In order to manage the required stormwater volume, the Petitioner proposes to utilize a mix of stormwater management practices which will include environmental site design features such

as micro-bioretenment facilities and permeable pavements, supported in series by underground structural facilities providing water quality and channel protection. The majority of the volume will be managed with micro-bioretenment facilities. Permeable pavements are proposed for walkways where appropriate, and micro-bioretenment planter boxes are proposed to treat runoff from the roof tops and hardscape in order to achieve the maximum practicable volume. The Stormwater Strategy Plan included in this Application shows the approximate location, number, and size of stormwater management practices required to meet the target ESD. The proposal will be further refined when the Conceptual Stormwater Management Plan is submitted to MCDPS for approval.

It is expected that the proposed layout of the Project will fully accommodate stormwater management facilities that meet/exceed applicable County and State requirements.

3. Sediment and Erosion Control

A Sediment and Erosion Control Plan will be prepared and submitted to DPS for approval after Stormwater Management Concept approval and prior to commencement of construction on the Property.

4. Adequate Public Facilities

The public facilities are adequate to support and service the proposed development. As discussed above, a Site Plan will be filed subsequent to Local Map Amendment approval. As such, the Montgomery County Planning Board ("Planning Board") will be responsible for determining whether Adequate Public Facilities ("APF") exist to support the proposed development of the Property at the time of Site Plan.

a. Traffic

The Property falls within the Orange Policy Area in the current FY 2020-2024 Growth and Infrastructure Policy. An analysis of peak hour person trips generated by the proposed development was performed in accordance with the 2022 update to the Maryland-National Capital Park and Planning Commission's (M-NCPPC) Local Area Transportation Review (LATR) Guidelines. A Traffic Statement prepared by Wells and Associates has been submitted in connection with this Application. The Traffic Statement demonstrates that the public facilities are more than adequate to support and service the Project. As discussed above, the National 4-H Conference Center has existed on the Property for quite some time. Per the LATR Guidelines, "if the proposed use will be replacing an existing land use and that land use was occupied for more than 12 years, the applicant may take credit for the existing site trips based on the current LATR trip generation methodology." The National 4-H Conference Center use generated 285 AM peak hour and 299 PM peak hour person trips, while the proposed Project will generate 164 AM peak

hour and 239 PM peak hour person trips. Accordingly, the proposed use will reduce traffic on surrounding roads by generating 121 fewer AM peak hour person trips and 60 fewer PM peak hour person trips than the longstanding National 4-H Conference Center use. The Traffic Statement is being submitted concurrently with this Land Use Report.

The Property is not located within the boundaries of a Transportation Management District ("TMD"). Accordingly, no Traffic Mitigation Agreement (TMA) is required.

b. Schools

Although the Project provides new residential density, the proposed senior living facility use will not generate any new students. Thus, the Project will have no impact on public school capacity.

c. Other Services

The Property will be served by existing water and sewer mains. The majority of the Property is located within water and sewer categories W-1 & S-1. Water and sewer needs are expected be met by the Washington Suburban Sanitary Commission ("WSSC") through connections to the existing water and sewer lines located in the abutting right-of-ways. WSSC will evaluate the water and sewer capacity through a Hydraulic Planning Analysis.

Electric, gas and telecommunications services are also available to serve the Property. Other public facilities and services – including police stations, firehouses, and health care facilities – are currently available in the vicinity of the Property and will continue to be sufficient following construction of the Project.

In conclusion, the public facilities will be more than adequate to support and service the Project.

V. Master Plan Conformance

The Property is located within the *1990 Approved and Adopted Bethesda – Chevy Chase Master Plan*. It is worth noting that this Master Plan is over 30 years old and was intended to look ahead only 20 years (*see* Master Plan, page 1). Additionally, countywide land use policies and zoning changes have occurred in the years since the passage of the Master Plan. Nonetheless, the Project substantially conforms with the goals and recommendations of the Master Plan, and also is reflective of more current land use policies for the County.

The Master Plan does not include any site-specific recommendations for the Property. At the time, the National 4-H Center was a long-term, fully functioning and stable use, which was not envisioned to change within the lifespan of the Master Plan (*i.e.* 20 years). However, the Master

Plan “endorse[d] housing as the primary future alternative use” if the institutional uses within the Master Plan area were ever redeveloped (*see* Master Plan, page 3).

The Master Plan includes several overarching goals and recommendations which are pertinent to this Project, including an emphasis on the need to meet the housing and service needs of the elderly. The Project promotes the following goals of the Master Plan (*see* Master Plan, page 2):

1. *Provide for a balanced housing supply so that persons of varying income levels, age, backgrounds, and household characteristics may find suitable housing appropriate to their needs.*

The Project provides diverse housing opportunities on-site that will help to meet the needs of the surrounding community. As discussed in this Land Use Report, the Project includes a variety of unit sizes and layouts, with three levels of care (*i.e.* Independent Living, Assisted Living and Memory Care), to allow residents of the surrounding community to age-in-place. The Project also complies with Chapter 25A of the Zoning Ordinance regarding MPDUs.

2. *Protect the high quality residential communities throughout the Planning Area as well as the services and environmental qualities that enhance the area.*

The Project layout has been carefully designed to protect and retain the existing tree canopy that exists along the northern, western and southern property boundaries. This natural screening provides a significant physical and visual buffer from the surrounding residential communities, but also serves to protect the environmental features on-site.

3. *Protect the natural resources and environmental qualities of the Planning Area.*

The Project will preserve and enhance the natural resources that exist on-site and the environmental qualities of the Planning Area. As mentioned, the Project preserves a majority of the existing tree canopy that exists on-site today and will provide for its permanent protection through Category I Forest Conservation Easement(s). The Project also includes the protection of the steep slopes that exist along the western property boundary (as specifically recommended by the Master Plan; *see* page 5) and natural habitats found within these areas. The Project also will provide stormwater management on-site, where no known facilities exist today.

4. *Contribute to a strong sense of community and help reinforce community cohesion.*

As described in detail in the architectural narrative above, the Project has been thoughtfully designed to be compatible with, and complement, the character of the surrounding residential neighborhood. The proposed building architecture takes cues from the architectural styles prevalent in the surrounding neighborhood, and also incorporates traditional residential design elements to evoke an inviting residential quality of “home.” The Master Plan recognizes that “[t]he way we meet the special needs of the elderly...also relates to our sense of a community that cares about its residents.” The Project accomplishes this by providing a range of services for residents

ages 62 years and older, which will serve County residents and allow Chevy Chase residents to stay in their community as they age.

The Master Plan also supports “increased housing densities and types, where compatible with nearby properties,” (*see* Master Plan, page 21) and emphasizes the need to meet the housing and services needs of the elderly (which has also been identified as a need County-wide). The Project accomplishes both of these objectives through the redevelopment of this long-standing institutional use with a residential, senior housing development that is compatible with the surrounding neighborhood.

VI. Zoning Ordinance Conformance

Section 5.1.2. - Intent

Section 5.1.2 of the Zoning Ordinance states that Commercial/Residential Floating zones are intended to provide an alternative to development under the restrictions of the Euclidean zones mapped by Sectional Map Amendment. The Project embodies the following specific intentions of the Floating Zones:

- A. Implement comprehensive planning objectives by:*
- 1. furthering the goals of the general plan, applicable master plan, and functional master plans;*
 - 2. ensuring that the proposed uses are in balance with and supported by the existing and planned infrastructure in the general plan, applicable master plan, functional master plan staging, and applicable public facilities requirements ; and*
 - 3. allowing design flexibility to integrate development into circulation networks, land use patterns, and natural features within and connected to the property;*

As discussed in detail in Section V of this Report, the Project furthers the goals and recommendations of the Master Plan. The Project is also supported by existing infrastructure and will provide compatible in-fill development in furtherance of smart growth principles. Further, area public facilities will be adequate to accommodate the proposed development. The application of this floating zone to the Property will allow it to be integrated into the existing community and it will enhance the same. It will provide needed additional senior housing and some neighborhood-serving retail (although such “commercial” uses are predominately intended for use by Project

residents). Importantly, the Project will maintain the existing tree canopy and steep slopes that surround the Property to the north, south and west, which will continue to provide a physical and visual buffer from the surrounding neighborhoods.

B. Encourage the appropriate use of land by:

- 1. providing flexible applicability to respond to changing economic, demographic and planning trends that occur between comprehensive District or Sectional Map Amendments;*
- 2. allowing various uses, building types, and densities as determined by a property's size and base zone to serve a diverse and evolving population; and*
- 3. ensuring that development satisfies basic sustainability requirements.*

The proposed Floating Zone will allow the Petitioner the flexibility to redevelop this now derelict, long-standing institutional use with a more compatible mixed-use, predominately residential development. The Project promotes sustainability and smart growth principles through infill redevelopment of the Property, which is already served by existing infrastructure and public transportation. The Project will provide needed, additional senior housing within the Town of Chevy Chase to serve both surrounding residents and the County at large. As discussed in this Statement, the Project has been carefully designed to preserve the existing natural buffers that exist today and to provide compatible building architecture that will complement the surrounding neighborhood.

C. Ensure protection of established neighborhoods by:

- 1. establishing compatible relationships between new development and existing neighborhoods through limits on applicability, density and uses;*
- 2. providing development standards and general compatibility standards to protect the character of adjacent neighborhoods; and*
- 3. allowing design flexibility to provide mitigation of any negative impacts found to be caused by the new use.*

The Project has been carefully designed, with feedback from the Town of Chevy Chase, to ensure compatibility with the surrounding neighborhood. As discussed above, the proposed layout preserves the existing tree canopy and natural screening that exists around the perimeter of the site.

This vegetation provides both a physical and visual buffer. This physical buffer results in side and rear yard setbacks that are substantially greater than what would otherwise be required in the CRNF Zone. Additionally, the commercial uses and walk-up residential units, have been oriented toward Connecticut Avenue, to activate and enliven this major thoroughfare. The Petitioner has designed the building architecture to ensure compatibility with the surrounding neighborhoods, even though the buildings will largely be screened from view from the surrounding residential neighborhood, and primarily only visible Connecticut Avenue.

Section 5.1.3. - Applicability

- A. A Floating zone must not be approved for property that is in an Agricultural or Rural Residential Zone;*

The Property is zoned R-60 and is not in an Agricultural or Rural Residential Zone.

- B. If a Floating zone is not recommended in a master plan:*
- a. The maximum allowed density is based on the base zone and on the size of the tract as stated in Division 5.3.*

Pursuant to Section 5.3.5.A.2, given the Property's R-60 base zone and Tract area larger than 3 acres, the maximum total density allowed on the Property is 1.5 FAR. Within the overall maximum permitted density, both the commercial and residential density are limited to a maximum of 1.25 FAR. The total density proposed by this Project is approximately 1.18 FAR; with the commercial density proposed at approximately 0.01 FAR and residential density proposed at approximately 1.17 FAR, well within the overall density allowed by the Zoning Ordinance.

- b. When requesting a Commercial Residential Neighborhood Floating zone for a property with a Residential base zone, the Property must front on a nonresidential street or must confront or abut property that is in a Commercial/Residential, Employment, or Industrial zone; and must satisfy a minimum of 2 prerequisites for each of the categories under Section 5.1.3.D.*

The Property fronts onto Connecticut Avenue, a non-residential street. The Application also satisfies at least two pre-requisites in each of the categories as follows:

Category	Prerequisite Choices	Satisfied
Transit & Infrastructure	At least 75% of the site is within 1/4 mile of a Level 3, 1/2 mile of a Level 2, or 3/4 mile of a Level 1 transit station/stop.	

	The site has frontage on and vehicular, bicycle, and pedestrian access to at least 2 roads, at least one of which is nonresidential.	✓
	The site is served by existing water and sewer infrastructure that will not require either an upgrade to the service line or installation of a pump station due to the proposed development.	✓
	All signalized intersections within 1/4 mile of the site boundary are operating below the applicable congestion standard.	
	The project is age-restricted or senior housing, or if proposing development that may generate students, the site must not be in an area that is under moratorium due to school capacity or result in a school utilization rate greater than 120% because of the proposed development. For any site within 2 school clusters, only the portions of the site that satisfy this requirement can proceed.	✓
Vicinity & Facilities	The site is in a transitional location between property in an existing Residential Multi-Unit, Residential Townhouse, or non-Residential zone and property in a Residential Multi-Unit, Residential Townhouse, or Residential Detached zone.	
	The site is adjacent to a bicyclist route that provides access to commercial services within 3 miles.	✓
	The site is adjacent to a route that provides access to an existing or master- planned school within 1/2 mile.	✓
	The site is adjacent to a pedestrian route that provides access to existing public park and recreation facilities that satisfy a minimum of existing public park and recreation facilities that satisfy a minimum of 30% of the recreation demand under the Planning Board's Recreation Guidelines, as amended, within 3/4 mile.	✓
	The site is adjacent to a pedestrian route that provides access to an existing grocery store or County-permitted farmer's market within 1/4 mile.	
	The limits of disturbance for the development will not overlap any stream, floodplain,	✓

Environment & Resources	wetland, or environmental buffer or any slopes greater than 25% or slopes greater than 15% where erodible soils are present.	
	The site does not contain any forest or, if forest is present, the limits of disturbance for the development will not reduce the forest cover to less than an area of 10,000 square feet and width of 35 feet at any point.	✓
	The site does not contain any rare, threatened, or endangered species or critical habitats listed by the Maryland Department of Natural Resources.	✓
	The site is on land containing contaminated soils and is developed in conjunction with an environmental Voluntary Cleanup Program under the Maryland Department of Environmental Protection.	
	The site is currently developed with more than 75% impermeable surfaces, including paving and roofed-structures, and does not currently provide stormwater management meeting the standards applicable on the date of filing.	

As shown in the table above, and described in more detail below, the Application satisfies a minimum of two (2) prerequisites under each of the three categories listed in Section 5.1.3.D.

i. Transit & Infrastructure

The Property has frontage along Connecticut Avenue, Thornapple Street and Woodside Place, all of which provide pedestrian access to the Property. Vehicular access is restricted to Connecticut Avenue, which is classified as a non-residential street. The Property is currently served by existing water and sewer. The water and sewer needs for the Project will be met through connections to these existing lines. Additionally, the residential component of the Project is age-restricted for residents 62-years of age and older, which has a low vehicular transit load.

ii. Vicinity & Facilities

The Property fronts on Connecticut Avenue, which serves as a bicycle route to the Chevy Chase Lake center. The Chevy Chase Lake center has several existing and proposed commercial services (including medical offices; grocery store; restaurants and other retail shops). The Property is also adjacent to a route that provides access to an existing school, the Chevy Chase Elementary School, within ½ mile. The Property is also adjacent to a pedestrian route that provides access to

the Chevy Chase Local Park within ½ mile and the Jane E. Lawton Community Recreation Center within ¾ miles, which contain diverse indoor and outdoor recreation opportunities.

iii. Environment & Resources

As mentioned above, the Project has been designed to preserve the existing environmental features around the perimeter of the site. As such, the limits of disturbance for the Project will not overlap any stream, floodplain, wetland, or environmental buffer. While there is existing forested areas on the Property, the limits of disturbance for the development will not reduce the forest cover to less than an area of 10,000 square feet and width of 35 feet at any point. Additionally, the Property does not contain any rare, threatened, or endangered species or critical habitats listed by the Maryland Department of Natural Resources.

Section 5.3.2. - Purpose of the CRNF Zone

The CRNF Zone is an appropriate zoning classification for the Property. The intent of the CRNF Zone is to allow mixed-use development at a range of densities and heights flexible enough to respond to various settings. It also allows flexibility in uses, and seeks to provide mixed use development which is compatible with adjacent development. As described previously in this Report, the proposed CRNF Zone facilitates the construction of desirable, additional senior housing at this prominent site, in support of the Master Plan’s goal of providing additional housing and services for the elderly. Furthermore, the flexible design standards of the CRNF Zone allow for a Project layout that promotes compatibility with the surrounding fully established neighborhood.

Section 5.3.5. - Development Standards

As the following table illustrates, the proposed Project will satisfy the development standards for standard method of development in the CRNF Zone:

Chapter 59 Section		Permitted/ Required	Provided
5.3.5.A	Density of Development	Established by Floating Zone	CRNF-1.5, C-0.25, R-1.25, H-70'
	(a) Maximum Overall FAR		1.18 FAR (or 700,000 square feet)
	(b) Commercial or Residential Density		0.01 FAR Commercial density (or 5,000 square feet)

			1.17 FAR Residential density (or 695,000 square feet)
5.3.5.B	Bldg. Height	Established by Floating Zone Plan	70 feet
5.3.5.B	Bldg. Setbacks (minimum) from the boundary	Established by Floating Zone Plan, except as required by 4.1.8.A (all others set by Site Plan)	From Public Street: 15 foot minimum from Connecticut Avenue (18 feet provided) 15 foot minimum from Thornapple Street (81 feet provided)
4.1.8.A	Setback Compatibility	Side Yard Setback (from residentially improved, R-60 Zoned property): 12 feet required Rear Yard Setback (from residentially improved, R-60 Zoned property): 30 feet	Side Yard Setback (Minimum): 12 feet minimum (45 feet provided) Rear Yard Setback (Minimum): 30 feet minimum (45 and 145 feet provided)
4.1.8.B	Height Compatibility	45 degree angular plane required, measured from a height equal to the height allowed for a detached house in the abutting R-60 Zone at the required site and rear yard setback line (per Section 4.1.8.A)	Complies.
5.3.5.C	Lot Size (minimum)	Established by site plan.	N/A
5.5.3.D	Open Space Provided Under Section 4.5.3.C.1 (a) Minimum percentage of net lot area devoted to public open space for multi-use, general and apartment building types	10% (or 53,520 square feet)	10.8% (or \pm 57,895 square feet)

6.5.3	Landscape Screening Requirements for an Apartment Building Over 60 Feet in Height or Multi Use Building Over 40 Feet in Height	Required along southern and western property boundaries (and a small portion of the northern property boundary, where single family residential homes abut) See Options A, B, C, or D.	Southern Property Boundary: Complies Western and Portion of Northern Property Boundary: May seek alternative compliance due to Forest Conservation Easements Final details to be determined at time of Site Plan.

VII. Findings for Approval

Pursuant to §59.7.2.1.A. a zoning map change to apply a Floating Zone to an individual property requires approval of a Local Map Amendment. Under §59.7.2.1.E., the District Council must find that the floating zone plan will:

- a. substantially conform with the recommendations of the applicable master plan, general plan, and other applicable County plans;*

As discussed in Section V above, the Project substantially conforms to the recommendations of the Master Plan.

- b. further the public interest;*

As described more fully in this Report, the Project will further the public interest by transforming this long-standing (now derelict) institutional site into a residential-scaled senior housing development specifically tailored to serve area residents. The Project has been carefully designed to complement the surrounding neighborhoods, preserve the existing environmental features on-site, and implement the County's land use objectives. The proposed Project will contribute to the diversity of housing options in this area and the County. The Project will serve County seniors and allow the Town of Chevy Chase residents to remain in their community, close to family and friends, as they age.

- c. Satisfy the intent, purposes, and standards of the proposed zone and requirements of this Chapter;*

As described in section VI of this Report, the Project will satisfy the intent, purpose and specific standards of the CRNF Floating Zone and the Zoning Ordinance. For all the reasons discussed in this Report, the requested Floating Zone is appropriate at this location.

- d. Be compatible with existing and approved adjacent development;*

The Project will transform this long-standing, institutional use into more compatible residential-scaled senior housing development that will contribute to the diversity of housing in the Town of Chevy Chase. The layout of the Project has been carefully designed to preserve the natural buffer that surrounds the Property, which will continue to provide a physical and visual distance from the surrounding residential homes. A small amount of the amenities provided on-site will be made available for use by the public to provide desirable neighborhood serving commercial uses within walking distances of the surrounding community. As discussed in this Report, these “commercial” uses will be located along Connecticut Avenue, to be easily accessible by residents of the surrounding neighborhoods.

- e. Generate traffic that does not exceed the critical lane volume or volume/capacity ratio standard as applicable under the Planning Board's LATR Guidelines, or, if traffic exceeds the applicable standard, that the applicant demonstrate an ability to mitigate such adverse impacts; and*

As discussed in this Report, the Petitioner’s traffic consultant, Wells + Associates, has prepared a Traffic Statement that confirms the proposed Project will generate 121 fewer AM peak hour person trips and 60 fewer PM peak hour person trips, as compared to the long-standing National 4-H Conference Center use. As such, the Project will not generate any additional traffic and will not have any adverse impacts on the surrounding intersections.

- f. When applying a non-Residential Floating zone to a property previously under a Residential Detached zone, not adversely affect the character of the surrounding neighborhood.*

The proposed Project will not adversely affect the character of the surrounding neighborhood. In fact, the Project will provide a more compatible use by transforming this long-standing institutional use into a residential-scaled, age-restricted community. Furthermore, as discuss in detail above, the Project’s architecture and building layout has been carefully designed to promote compatibility with the surrounding residential communities and the architectural character and scale found therein. The Petitioner is, and will continue to, work closely with the Town of Chevy Chase to ensure compatibility is addressed at all levels.

VIII. Phasing

The proposed development will be constructed in two phases, with the intent to keep the time between phases to a minimum.

IX. Community Outreach

The Petitioner recognizes the importance of community engagement to a successful Project and has embraced it since the inception of the Project. Although no formal community outreach is required, the Petitioner has held many formal community meetings with the Town of Chevy Chase, notably in September 2021, February 2022, and June 2022 where it shared its vision for the Project and answered questions from the Town Council and members of the community at large. The public meetings were webcast, well attended with between 100 and 200 attendees each, and all of the presentations posted to the Town of Chevy Chase's website. In addition, the Petitioner held many smaller meetings with the immediately surrounding neighbors to discuss the Project. The Petitioner also facilitated a "walkinar" at the Property in September 2022 that focused mainly on forest stand delineation, stormwater management and landscaping strategies. The "walkinar" was open to the public and was shared on the Town of Chevy Chase's website calendar.

To further facilitate community interaction and understanding of the Project, the Petitioner invited several of the Town Council Members and members of the Town Council's special committee on the Project to one of its similar projects in Atlanta, GA in April 2022. The Petitioner also provided the Town of Chevy Chase a draft of this Land Use Report and all supporting exhibits in June 2022 for their review and comment prior to the filing of the LMA Application.

In August 2022, and at the request of the Town of Chevy Chase, the Petitioner supplied the Town with thirty-six (36) additional aerial and ground level three-dimensional views of the Project in both summer and winter settings. These views depict the Project in context from 360 degrees and at a variety of ground level points surrounding the Property. They were also posted on the Town of Chevy Chase's website.

The Petitioner also reached out to the adjacent community group, Section Three of the Village of Chevy Chase, and held a virtual meeting with several members of the Village Council and the Village Manager. The Petitioner requested to present the Project at a subsequent public meeting and one was scheduled for July 13, 2022, but was ultimately cancelled by the Village.

Community outreach unquestionably has been and will continue to be one of the Petitioner's top priorities as the Project moves forward with its Local Map Amendment application and other land use entitlement processes. And outreach efforts will by no means end there. The Petitioner fully intends to enhance the relationships it has made with the surrounding communities

and The Town of Chevy Chase throughout the construction phase and ultimately as a productive and valued neighbor in the community.

X. Conclusion

The proposed development conforms to the Intent and Purpose of the CRNF Zone and complies with all Development Standards within the Zoning Ordinance. The Project substantially conforms to the Master Plan's recommendations and promotes many important land use objectives of the County. The Local Map Amendment will facilitate the development of this dilapidated, long-standing institutional use with a more compatible age-restricted residential development that will advance the Master Plan's objectives of providing additional services and housing opportunities for the elderly, as well as the County's policies of smart growth. For these reasons, we respectfully request approval of this Local Map Amendment.



MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

CERTIFICATE OF COMPLIANCE

I do hereby certify, to the best of my knowledge, information, and reasonable belief, that all of the information and data provided with this application is accurate, and all of the features and elements provided on the plans is consistent with the standards of the applicable zone. The certification includes, but is not limited to boundary information, property information and ownership, topography, historic resources, etc. I agree that the submitted plans may be rejected or returned by the Maryland-National Capital Park and Planning Commission if the plans are found to be inaccurate, false or misleading.

Applicant or Applicant's Representative

9/23/22

Date

Print Name: Grant Epstein

Print Company: Corso DC, LLC

Print Title: President

Plan Name: Corso Chevy Chase

Plan Number: _____

7100 Connecticut Avenue
Local Map Amendment
Notice Mailing List

	Adjoining/Confronting Property Owner	Organization	Mailing Address	City	State	Zip	Block	Lot/Parcel	Tax Account Number
1	AMANDA YVETTE PEREZ	JOHN E MELLYN 3RD	7007 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	P58	07-00458945
2	ERIC A & M S HOWELL		7103 CONNECTICUT AVE	CHEVY CHASE	MD	20815	6	P8, PT LT 9	07-00458967
3	Chevy Chase United Methodist Church INC		7001 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	P13	07-00459040
4	Chevy Chase United Methodist Church INC		7001 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	9, LT 10	07-00459062
5	WAFA & H FAHIM		7009 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	57A	07-00459381
6	ROWHEYA A VAN DER MEI-HUSAIN	REVOCABLE TRUST	7105 CONNECTICUT AVE	CHEVY CHASE	MD	20815	6	P9	07-00459767
7	CHRISTOPHER & SHOSHANA LOMBARDI		7011 CONNECTICUT AVE	CHEVY CHASE	MD	20815	3	56A	07-00460243
8	ALI R FASSIHI		7107 CONNECTICUT AVENUE	CHEVY CHASE	MD	20815	6	10	07-00460607
9	KATHLEEN ELIZABETH BREN	BENJAMIN BECKWITH BRUNO	3811 TAYLOR ST	CHEVY CHASE	MD	20815	6	P8	07-00461180
10	KEITH HARPER	SHELBY S HARPER	4000 THORNAPPLE ST	CHEVY CHASE	MD	20815	5	10	07-00461668
11	DAVID A VAUGHAN JR	EMILY C VAUGHAN	7021 MEADOW LN	CHEVY CHASE	MD	20815	5	26	07-00461806
12	GREGORY NICKERSON	ANNE H NICKERSON	7101 MEADOW LANE	CHEVY CHASE	MD	20815	5	25	07-00461817
13	DAVID K & S H BERLER		7002 CONNECTICUT AVE	CHEVY CHASE	MD	20815	7	P770, LOT E15 & 16	07-00461874
14	BARBARA NEGRI OPPER TRUSTEE	BARBARA NEGRI OPPER TRUST	7004 MEADOW LN	CHEVY CHASE	MD	20815	25	19	07-00461885
15	ALAN B LANGERMAN	JESSICA H LANGERMAN	6925 WOODSIDE PL	CHEVY CHASE	MD	20815	7	16, PT LT 15	07-00462377
16	CHRISTIAN V BARNETTE		3915 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	10	07-00462504
17	ADAM H ARKEL	SIMIN HO	7015 MEADOW LN	CHEVY CHASE	MD	20815	5	P24, PT LOT 23	07-00462856
18	JILLIAN MARIE GEER	AROON SEHGAL	4002 THORNAPPLE ST	CHEVY CHASE	MD	20815	5	11	07-00463601
19	LOUIS I LAPPIN	SARAH L WILSON	7002 VALLEY PLACE	CHEVY CHASE	MD	20815	25	P20	07-00463612
20	JOHN H REISS	ELIZABETH E WILNER	7007 MEADOW LN	CHEVY CHASE	MD	20815	6	P9, LT 10	07-00463918
21	DAVID MOSS &	ASHLEY MOSS	6924 WOODSIDE PLACE	CHEVY CHASE	MD	20814	6	1	07-00463997
22	PETER J & MARIA LUISA C SCHMIDT		3907 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	P6, PT LOT 7	07-00464070
23	JEFFREY F & ROCHELLE W KUPFER		7011 MEADOW LN	CHEVY CHASE	MD	20815	5	P24	07-00464172
24	LAURA C ONKEN	WADE T TANDY	7017 MEADOW LN	CHEVY CHASE	MD	20815	5	P22, PT LT 23	07-00464310
25	JEFFREY SURRELL	MITRA SURRELL	7008 MEADOW LN	CHEVY CHASE	MD	20815	25	17	07-00464376
26	RICHARD K & CHRISTINE K REED		3909 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	37	07-00464593
27	PETER W & E R THOMAS		3903 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	4, PT LOT 5	07-00464775
28	LAUREN PACUIT TRUSTEE	ERIC PACUIT TRUSTEE	4001 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	11, PT LOT 12	07-00465303
29	JILL REV FERGUSON INTER VIVOS TR	DAVID RODMAN HENDERER REV INTER VI	101 SOUTH TRYON ST	CHARLOTTE	NC	28255	5	13	07-00465405
30	JON WILKINS	ELIZABETH CAVANAGH	7105 MEADOW LANE	CHEVY CHASE	MD	20815	5	19	07-00465484
31	JOHN W DAVIS	OLIVIA M DAVIS	7006 MEADOW LN	CHEVY CHASE	MD	20815	25	18	07-00466147
32	ANITA KRISHNAKUMAR TUCKER	WALTER R TUCKER	6922 WOODSIDE PL	CHEVY CHASE	MD	20815	6	2	07-00466386
33	HUGO C BARRETT & SHIRLEY HUANG		3905 THORNAPPLE ST	CHEVY CHASE	MD	20815	4	P5, PT 6	07-00466455
34	F MICHAEL KELLEHER JR	KARIN A KELLEHER	4004 THORNAPPLE ST	CHEVY CHASE	MD	20815	5	12	07-00466604
35	ADA QUATTROCCHI REVOC LIV TR	ADA QUATTROCCHI TRUSTEE	7200 CONNECTICUT AVE	CHEVY CHASE	MD	20815	4	3	07-00466637
36	CAROLINE LUISA VAIRA		3810 THORNAPPLE ST	CHEVY CHASE	MD	20815	1	7	07-00468170
37	DAVID A & ELIZABETH S BARROWS		7109 CONNECTICUT AVE	CHEVY CHASE	MD	20815	1	8	07-00468410
38	ARTHUR S GARRETT 3RD &	KELLY BASHEER	7201 CONNECTICUT AVE	CHEVY CHASE	MD	20815	2	P1	07-00469083
39	DAVID M ISRAELITE	MARIE ISRAELITE	3911 THORN APPLE ST	CHEVY CHASE	MD	20815	4	41	07-03818242
	Municipalities within 1/2 mile	Contact	Street	City	State	Zip			
40	Chevy Chase Village	c/o Elissa Leonard, Chair	5906 Connecticut Avenue	Chevy Chase	MD	20815	(301) 656-3760	elissa.leonard@chevychasevillagemd.gov	
41	Chevy Chase Village Section 3	c/o Andy Leon Harney, Manager	P.O. Box 15070	Chevy Chase	MD	20825	(301) 656-9117	villagemanager@chevychasesection3.org	
42	Chevy Chase Village Section 3	c/o Andy Leon Harney, Village Manager	P O Box 15070	Chevy Chase	MD	20815	(301) 656-9117	villagemanager@chevychasesection3.org	
43	Chevy Chase Village Section 3	c/o Susan Manning, Chair	7005 Florida Street	Chevy Chase	MD	20815	(301) 652-0515		
44	Chevy Chase Village Section 5	c/o Ashley Kavanaugh, Town Manager	P.O. Box 15140	Chevy Chase	MD	20815	(301) 986-5481	manager@chevychasesection5.org	
45	Chevy Chase Village Section 5	c/o Joseph Galper, Councilmember	3703 Woodbine Street	Chevy Chase	MD	20815	(301) 652-1611	jgalper@yahoo.com	
46	Town of Chevy Chase	c/o Barney Rush, Mayor	4301 Willow Lane	Chevy Chase	MD	20815	(301) 654-7144	cbaskir@townofchevychase.org	
47	Town of Chevy Chase	c/o Ronald Bolt, Attorney - Bolt Legal LLC	10410 Kensington Parkway, Suite 222	Kensington	MD	20895	(301) 528-6000	ron@boltlegal.com	
48	Town of Chevy Chase	c/o Todd Hoffman, Town Manager	4301 Willow Lane	Chevy Chase	MD	20815	(301) 654-7144	thoffman@townofchevychase.org	
49	Town of Chevy Chase	c/o Town Office, Management Assistant	4301 Willow Lane	Chevy Chase	MD	20815	(301) 654-7144	townoffice@townofchevychase.org	
50	Village of Chevy Chase Section 3	c/o Carolyn Gries, Council Rep Buildings and Streets	7003 Florida Street	Chevy Chase	MD	20815	(301) 718-1737		
51	Village of Martin's Addition	c/o Ronald Bolt, Attorney - Bolt Legal LLC	10410 Kensington Pkwy, Ste 222	Kensington	MD	20895	(301) 528-6000	ron@boltlegal.com	

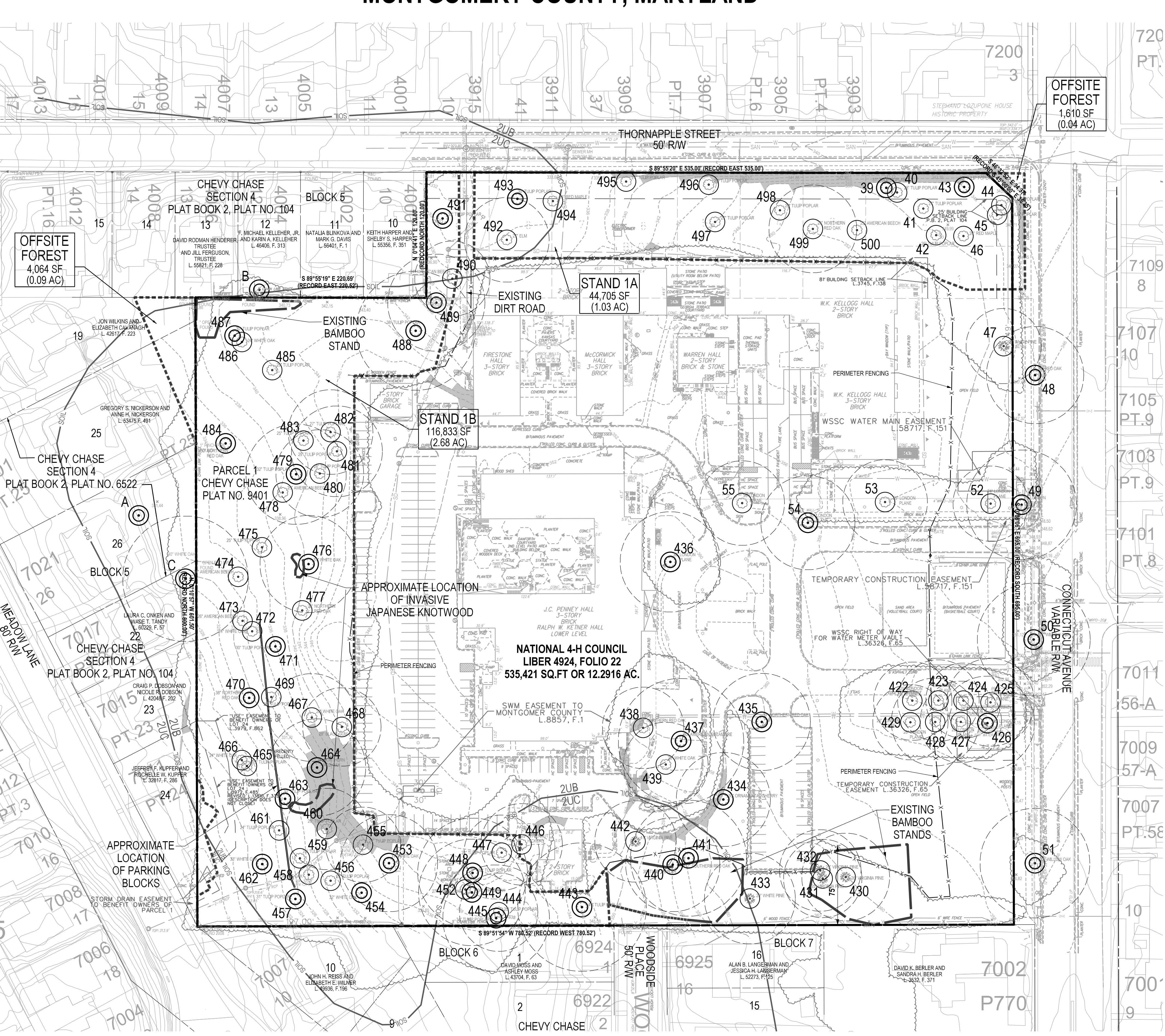
7100 Connecticut Avenue
Local Map Amendment
Notice Mailing List

	Civic, Community, Condominium and HOAs registered with MNCPPC	Contact	Street	City	State	Zip			
52	Citizens Coordinating Committee on FH	c/o Cynthia Green, Recording secretary					(301) 654-4085	cynthgreen@gmail.com	
53	Citizens Coordinating Committee on FH	c/o David Forman, Chairperson					(301) 229-6869	davidforman01@gmail.com	
54	Citizens Coordinating Committee on FH	c/o Harry Pfohl , Vice Chairperson					(703) 861-1688	Harry.CCCFH@gmail.com	
55	Citizens Coordinating Committee on FH	c/o Judy Throckmorton, Treasurer					(249) 383-5018	jmthrock@gmail.com	
56	Citizens Coordinating Committee on FH	c/o Melanie Rose White, Past Chair	5500 Friendship Boulevard #2221	Chevy Chase	MD	20815	(301) 675-3154	melanierosewhite@gmail.com	
57	Citizens Coordinating Committee on FH	c/o Pat Johnson, Corresponding secretary					(301) 652-2476	pdjohnson01@yahoo.com	
58	Citizens Coordinating Committee on FH	c/o Pete Salinger, List Coordinator					(301) 2259-5570	petersalinger95@gmail.com	
59	Citizens Coordinating Committee on FH	c/o Stacey Band, At large					(248) 420-0410	staceydwolf@gmail.com	
60	East Bethesda Citizens Association	c/o Andy O'Hare, President	8002 Kentbury Drive	Bethesda	MD	20814	(301) 656-2813	andy.ohare@yahoo.com	
61	East Bethesda Citizens Association	c/o Jack Hayes, Treasurer	8305 Kentucky Avenue	Bethesda	MD	20814		treasurer@ebca.org	
62	East Bethesda Citizens Association	c/o Katya Marin, Vice President	4404 Fairfield Drive	Bethesda	MD	20814			
63	East Bethesda Citizens Association	c/o Melissa Groman, Recording Secretary	4403 Chestnut Street	Bethesda	MD	20814	(301) 652-8933	secretary@ebca.org	
64	East County Citizens Advisory Board	c/o Rachel Evans, Chair	3300 Briggs Chaney Road	Silver Spring	MD	20904	(240) 777-8414	Eastco.citizen@Montgomerycountymd.gov	
65	Elm Street-Oakridge-Lynn Civic Assn	c/o Bren Lizzio, Secretary	4218 Oakridge Lane	Chevy Chase	MD	20815	(202) 669-4999	bren@brenlizzio.com	
66	Elm Street-Oakridge-Lynn Civic Assn	c/o Dedun Ingram, Vice Chair	4312 Willow Lane	Chevy Chase	MD	20815	(301) 657-3327	idedun@gmail.com	
67	Hamlet Citizens Association Chevy Chase	c/o Monca Mastal, President	8209 Kerry Road	Chevy Chase	MD	20815	(301) 656-8383	mmastal@mcenearney.com	
68	Montgomery County Civic Federation	c/o Alan Bowser, Co-President	P.O. Box 1123	Bethesda	MD	20827		alan.bowser@gmail.com	
69	Montgomery County Renters Alliance	c/o William Roberts, Esq, Chair - Treasurer	P.O. Box 7773-7773	Silver Spring	MD	20907		info@rentersalliance.org	
70	Montgomery County Renters Alliance Inc.	c/o Matt Losak, Executive Director	P.O. Box 7773-7773	Silver Spring	MD	20907	(301) 588-3987	mattlosak@rentersalliance.org	
71	Montgomery County Taxpayers League	c/o Edward Amatetti, President					(301) 728-6505	president@mctaxpayersleague.org	
72	Northern Montgomery County Alliance	c/o Julius Cinque, Chair	22300 Slidell Road	Boyds	MD	20841	(301) 972-1098		
73	Riviera of Chevy Chase Condo	c/o Ricardo Luna, Attn Board President	4242 East-West Highway	Chevy Chase	MD	20815		assistant@rivieraocc.com	
74	Riviera of Chevy Chase Condominium	c/o Brandes Richard, FSR Residential	8701 Georgia Ave. Suite 300	Silver Spring	MD	20910	(703) 941-0818	richard.brandes@fsresidential.com	
75	Riviera Of Chevy Chase Condominium	c/o Diane Morgan, Primary Contact - Owner	4242 East-West Highway #516	Chevy Chase	MD	20815	(402) 421-8867	presrivieraocc@yahoo.com	
76	Rollingwood Citizens Association	c/o Glenn Milano, President	3207 Brooklawn Terrace	Chevy Chase	MD	20815	(202) 462-0926	glenn@housenumberlab.com	
77	Sierra Club - Montgomery County Group	c/o Jennifer Rossmere, Treasurer	P O Box 4024	Rockville	MD	20849		jayrossmere@gmail.com	
	Others Required to be Notified	Organization	Street	City	State	Zip			
78	Intake and Regulatory Coordination	MNCPPC	2425 Reedie Drive	Wheaton	MD	20902			
	Land Use and Zoning Attorney	Organization	Street	City	State	Zip			
79	Steven A. Robins	Lerch, Early & Brewer, Chtd.	7600 Wisconsin Avenue, Suite 700	Bethesda	MD	20814			
80	Elizabeth C. Rogers	Lerch, Early & Brewer, Chtd.	7600 Wisconsin Avenue, Suite 700	Bethesda	MD	20814			

Specimen and Significant Tree Table				
No.	Common Name	Scientific Name	DBH (inches)	Comments
39	Tulip Poplar	<i>Liriodendron tulipifera</i>	31	Fair
40	Tulip Poplar	<i>Liriodendron tulipifera</i>	26	Fair
41	Tulip Poplar	<i>Liriodendron tulipifera</i>	27	Good
42	Tulip Poplar	<i>Liriodendron tulipifera</i>	26	Good
43	Tulip Poplar	<i>Liriodendron tulipifera</i>	35	Fair
44	Tulip Poplar	<i>Liriodendron tulipifera</i>	24	Fair
45	Tulip Poplar	<i>Liriodendron tulipifera</i>	25	Poor
46	Red Maple	<i>Acer rubrum</i>	26	Poor
47	White Pine	<i>Pinus strobus</i>	24	Good
48	Red Oak	<i>Quercus rubra</i>	31	Poor
49	London Plane Tree	<i>Platanus acerifolia</i>	35	Good
50	Willow Oak	<i>Quercus phellos</i>	35	Fair
51	Willow Oak	<i>Quercus phellos</i>	36	Fair
52	London Plane Tree	<i>Platanus acerifolia</i>	24	Poor
53	London Plane Tree	<i>Platanus acerifolia</i>	27	Fair
54	London Plane Tree	<i>Platanus acerifolia</i>	30	Fair
55	London Plane Tree	<i>Platanus acerifolia</i>	27	Fair
56	London Plane Tree	<i>Platanus acerifolia</i>	25	Good
57	London Plane Tree	<i>Platanus acerifolia</i>	26	Fair
58	London Plane Tree	<i>Platanus acerifolia</i>	24	Good
59	London Plane Tree	<i>Platanus acerifolia</i>	28	Fair
60	London Plane Tree	<i>Platanus acerifolia</i>	30	Fair
61	London Plane Tree	<i>Platanus acerifolia</i>	24	Good
62	White Pine	<i>Pinus strobus</i>	25	Poor
63	White Pine	<i>Pinus strobus</i>	26	Poor
64	White Pine	<i>Pinus strobus</i>	29	Fair
65	Ornamental Cherry	<i>Prunus avium</i>	30	Poor
66	Peck Oak	<i>Quercus palustris</i>	31	Fair
67	American Sycamore	<i>Platanus occidentalis</i>	32	Poor
68	American Sycamore	<i>Platanus occidentalis</i>	40	Poor
69	Northern Red Oak	<i>Quercus rubra</i>	26	Fair
70	White Oak	<i>Quercus alba</i>	25	Good
71	Tulip Poplar	<i>Liriodendron tulipifera</i>	30	Fair
72	Southern Red Oak	<i>Quercus falcata</i>	37	Fair
73	Virginia Pine	<i>Pinus virginiana</i>	26	Poor
74	Tulip Poplar	<i>Liriodendron tulipifera</i>	41	Fair
75	Tulip Poplar	<i>Liriodendron tulipifera</i>	25	Poor
76	Tulip Poplar	<i>Liriodendron tulipifera</i>	24	Good
77	White Oak	<i>Quercus alba</i>	32	Good
78	White Oak	<i>Quercus alba</i>	34	Good
79	White Oak	<i>Quercus alba</i>	27	Good
80	White Oak	<i>Quercus alba</i>	31	Fair
81	White Oak	<i>Quercus alba</i>	32	Good
82	Tulip Poplar	<i>Liriodendron tulipifera</i>	29	Good
83	Tulip Poplar	<i>Liriodendron tulipifera</i>	28	Good
84	White Oak	<i>Quercus alba</i>	26	Poor
85	Tulip Poplar	<i>Liriodendron tulipifera</i>	24	Poor
86	Tulip Poplar	<i>Liriodendron tulipifera</i>	25	Poor
87	White Oak	<i>Quercus alba</i>	33	Fair
88	Tulip Poplar	<i>Liriodendron tulipifera</i>	30	Good
89	White Oak	<i>Quercus alba</i>	28	Good
90	White Oak	<i>Quercus alba</i>	26	Good
91	Northern Red Oak	<i>Quercus rubra</i>	35	Fair
92	Tulip Poplar	<i>Liriodendron tulipifera</i>	30	Poor
93	White Oak	<i>Quercus alba</i>	24	Poor
94	American Beech	<i>Fagus grandifolia</i>	26	Fair
95	Tulip Poplar	<i>Liriodendron tulipifera</i>	32	Good
96	Tulip Poplar	<i>Liriodendron tulipifera</i>	28	Fair
97	Tulip Poplar	<i>Liriodendron tulipifera</i>	27	Poor
98	Tulip Poplar	<i>Liriodendron tulipifera</i>	29	Fair
99	Northern Red Oak	<i>Quercus rubra</i>	26	Poor
100	American Beech	<i>Fagus grandifolia</i>	25	Fair

SPECIMEN TREES:
Excellent: High vigor and near perfect health. Structure nearly ideal and free of defects.
Good: Form nearly ideal for the species.
Fair: Normal vigor and no significant damage due to pests or pathogens.
Poor: Well-developed structure. Form has minor deviations from species norm.
Reduced vigor: May have significant twig dieback, defoliation, or discoloration.
Possesses a single significant defect or multiple moderate defects.
Form may have major deviations from species norm.
Unhealthy and declining: Poor vigor and poor foliage density and color.
Uncorrectable serious defects. Form is largely abnormal.

SOIL CHART				
Map Unit Symbol	Soil Type	Description	Hydric Soil (Yes/No)	Prime Agriculture Soil
ZUB	Glenelg-Urban (0-8% slopes)	Very deep, well drained soils on nearly level to strongly sloping uplands in the northern part of the Piedmont Province. These soils formed in residuum derived from phyllite and micaceous schist. Permeability is moderate.	No	No
ZUC	Glenelg-Urban (8-15% slopes)	Very deep, well drained soils on nearly level to strongly sloping uplands in the northern part of the Piedmont Province. These soils formed in residuum derived from phyllite and micaceous schist. Permeability is moderate.	No	No



April 4, 2022
Mr. Nathan Collier
Soltesz, Inc.
2 Research Place
Suite 100
Rockville, MD 20850

RE: Environmental Review for 7100 Connecticut Avenue, Chevy Chase, Montgomery County, Maryland.
Dear Mr. Collier:
The Wildlife and Heritage Service has no official records for State or Federal listed, candidate, proposed, or rare plant or animal species within the project area shown on the map provided. As a result, we have no specific concerns regarding potential impacts to such species or recommendations for protection measures at this time. If the project changes in the future such that the limits of proposed disturbance or overall site boundaries are modified, please provide us with revised project maps and we will provide you with an updated evaluation.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact us at lori.bryne@dnr.state.md.us or at (410) 260-8573.
Sincerely,
Lori A. Bryne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER# 2022.0383.ao
Towers State Office Building - 580 Taylor Avenue - Annapolis, Maryland 21403
410-360-8000 or toll free in Maryland 877-632-8000 - also Maryland.gov - TTY Users Call via the Maryland Relay

- GENERAL NOTES:**
- The site is classified as Zone R-60. The gross tract area is 12.2916 on one parcel (P000) on Block 5. The site tax account numbers is 00464946.
 - The site is within the Lower Rock Creek Watershed as is designated as Use I.
 - This site is not within a Special Protection Area.
 - The site is not within the Maryland Inventory of Historic Properties list. The site is not a known archaeological site. The Stephano Luzzopone House at the NW corner of Connecticut Avenue and Thornapple Street adjacent to the site is a historic property.
 - No floodplain is shown on MNCPPC GIS floodplain data or per FEMA map 24031C0455D.
 - There are no state or county champion trees on the properties.
 - The April 4, 2022, DNR letter (appearing on this sheet) confirmed that there are no official records for Rare Threatened Endangered Species within the project area. No RTEs were observed during the field visits performed by WSSI and MNCPPC Staff.
 - The mapped soil types by NRCS on this site are 2UB Glenelg-Urban (91.8%) and 2UC Glenelg-Urban (8.2%).
 - Areas of slopes that are 25% and greater have been shown.
 - The site is partially forested.
 - Tree measurements were made using a standard DBH tape measure at the height of 4.5' above ground.
 - Fieldwork was conducted on February 10, 2022 by Courtney Egolf and Marius Flemmer of Wetland Studies and Solutions, Inc. (WSSI). The report was prepared by Michael Klebasco and Courtney Egolf of Wetland Studies and Solutions, Inc. (WSSI).
 - The site is developed and does not contain jurisdictional streams or wetlands.
 - Property is subject to existing Conditional Use/Special Exception CBA4217.
 - The existing Forest Conservation Exemption #42001364E was confirmed on 6/20/2001 for a building addition and new patio near the NE portion of site.

LEGEND:

- SITE BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- SPECIMEN TREE (GREATER THAN OR EQUAL TO 30" DBH)
- SIGNIFICANT TREE (BETWEEN 24-29.9" DBH)
- PERIMETER FENCE
- EXISTING SOIL LINE AND LABEL
- EXISTING TREELINE
- FOREST #
- FOREST STAND BOUNDARY
- BAMBOO GROWTH
- STEEP SLOPES 25% AND GREATER

Resource Data Table	
Acres of tract	12.29 AC
Acres of tract remaining in agricultural use	0.00 AC
Acres of total existing forest	3.71 AC
Total area of wetlands onsite	0.00 AC
Forest in wetlands	0.00 AC
Total area of wetland buffer	0.00 AC
Forest in wetland buffer	0.00 AC
Acres of existing floodplain	0.00 AC
Forest in 100-year floodplain	0.00 AC
Acres of total stream buffers	0.00 AC
Forest in stream buffers	0.00 AC

Summary of Forest Stand 1:
Stand 1 (3.71 acres)
This stand is comprised of two substands, is a mature, mixed-hardwood forest dominated by tulip poplar (*Liriodendron tulipifera*), American beech (*Fagus grandifolia*), southern red oak (*Quercus falcata*) and white oak (*Quercus alba*). The understory contains blueberry (*Vaccinium* sp.), black cherry (*Prunus serotina*) and American beech, while the herbaceous layer has occurrences of English ivy (*Hedera helix*), Wisteria, Barberry (*Berberis*), Bush Honeysuckle (*Lonicera*), Vinca, Porcelain Berry, and Mayapple (*Podophyllum peltatum*). The stand also contains miscellaneous litter.
This stand, which has an average DBH of 21 inches, contains a combined total of ninety-four (94) specimen and significant trees. The Forest Structure Analysis Sheet indicates that this stand has a structure value of 14, which places it in the upper end of the "Good" rating. It has a 91% canopy cover, 17% herbaceous cover, and 2% downed woody material. Stand 1 did not exhibit any evidence of disease or insect infestation and contained a low percentage of invasive species cover of approximately 20% exotic or invasive species. Due to the presence of significant environmental features (i.e. specimen trees), Stand 1 should be classified as a Priority 1 Forest Retention Area.

SOLTESZ, INC.
ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.solteszco.com

Engineering
Surveying
Planning
Environmental Sciences

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. IF ANY UTILITIES ARE LOCATED WITHIN THE PROJECT AREA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. IF ANY UTILITIES ARE LOCATED WITHIN THE PROJECT AREA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. IF ANY UTILITIES ARE LOCATED WITHIN THE PROJECT AREA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH UTILITIES.

OWNER / DEVELOPER / APPLICANT
Corso DC, LLC
700 K Street, NW
Washington, DC 20001
(202) 332-3069 (T)
FAX #
Contact: Grant Epstein

QUALIFIED PROFESSIONAL CERTIFICATION
This plan complies with the current requirements of Montgomery County's code and the environmental technical code.
Signed:
Date: 9/26/2022
Courtney Egolf
WETLAND STUDIES AND SOLUTIONS, INC.
1131 BENEFIELD BOULEVARD, SUITE L
MILLERSVILLE, MARYLAND 21104
PH: (703) 875-6892
FAX: (410) 672-5593
Cegolf@wetlands.com

NATURAL RESOURCE INVENTORY/FOREST STAND DELINEATION
NRI - FSD PLAN 420222220
CORSO CHEVY CHASE
BETHESDA (7TH ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND)

TAX MAP
HM42, 0000
ZONING CATEGORY:
R-60
WSSC 200' SHEET
2089W04
SITE DATUM
HORIZONTAL: NAD 83/91
VERTICAL: NAVD83
DATE: 9/26/2022
DESIGNED: NC
CHECKED: NC
SHEET 1
OF 1
PROJECT NO.
4180-01-01

Notice of Application**FOREST CONSERVATION PLAN TO BE CONSIDERED BY THE
MONTGOMERY COUNTY PLANNING BOARD AT A PUBLIC HEARING**

Plan Type	Forest Conservation Plan Under Local Map Amendment to Convert the Zone from R-60 to CRNF-1.5, C-0.25, R-1.25, H-70'
Plan Number	Forest Conservation Plan M-NCPPC #H148
Name of Plan	Corso Chevy Chase
Geographic Location	7100 Connecticut Avenue
Current Zone	R-60
Number of Proposed Lots/Area and Use(s)	1 Lot/12.29 acres; senior living community, including a Residential Care Facility (over 16 persons) containing up to 287 independent dwelling units, 190 assisted living beds and 30 memory care beds, and up to 5,000 square feet of commercial/neighborhood-serving retail use
Date	DRAFT

The above referenced plan application has been filed with the Montgomery County Planning Board and is being reviewed under the provisions of the Montgomery County Code and according to the administrative procedures outlined by the regulations for Chapter 50 and 59 at COMCOR 50/59.00.01 or any interim memo available at montgomeryplanning.org.

A copy of the proposed plan is enclosed. This plan may change because of specific reviews and changes suggested by Maryland-National Capital Park and Planning Commission (M-NCPPC) and other county and state agencies. You may participate in this review by sending written comments at any time to the Intake and Regulatory Coordination Division (IRC), M-NCPPC, 2425 Reedy Drive, Wheaton, Maryland 20902, or by contacting the M-NCPPC lead reviewer. Contact information for the lead reviewer is available by linking to the Development Activity Information Center (DAIC) on the M-NCPPC website at www.montgomeryplanning.org/development.

The Montgomery County Planning Board will also hold a public hearing on the above referenced plan application to obtain public comment. The tentative date for this hearing is _____; however, please note that this may change. Written notification of the actual public hearing date will be sent to you no later than ten days before the hearing.

If you have questions pertaining to the plan application, please contact the lead reviewer. If you have general questions about M-NCPPC's process, please contact the Information Counter at (301) 495-4610.

Sincerely,

Steven A. Robins
Attorney for the Applicant

DEVELOPMENT APPLICATION FOR:

CORSO CHEVY CHASE

Preliminary Forest Conservation Plan-H148

Senior Living Community including a Residential Care

Facility (over 16 persons) containing up to 287

Independent Dwelling Units, 190 assisted living beds and

30 memory care beds and up to 5,000 s.f. of

commercial/neighborhood serving retail use

13.64 acre gross tract area proposed to be re-zoned from

R-60 to CRNF-1.5, C-0.25, R-1.25, H-70

For process and hearing information please contact:

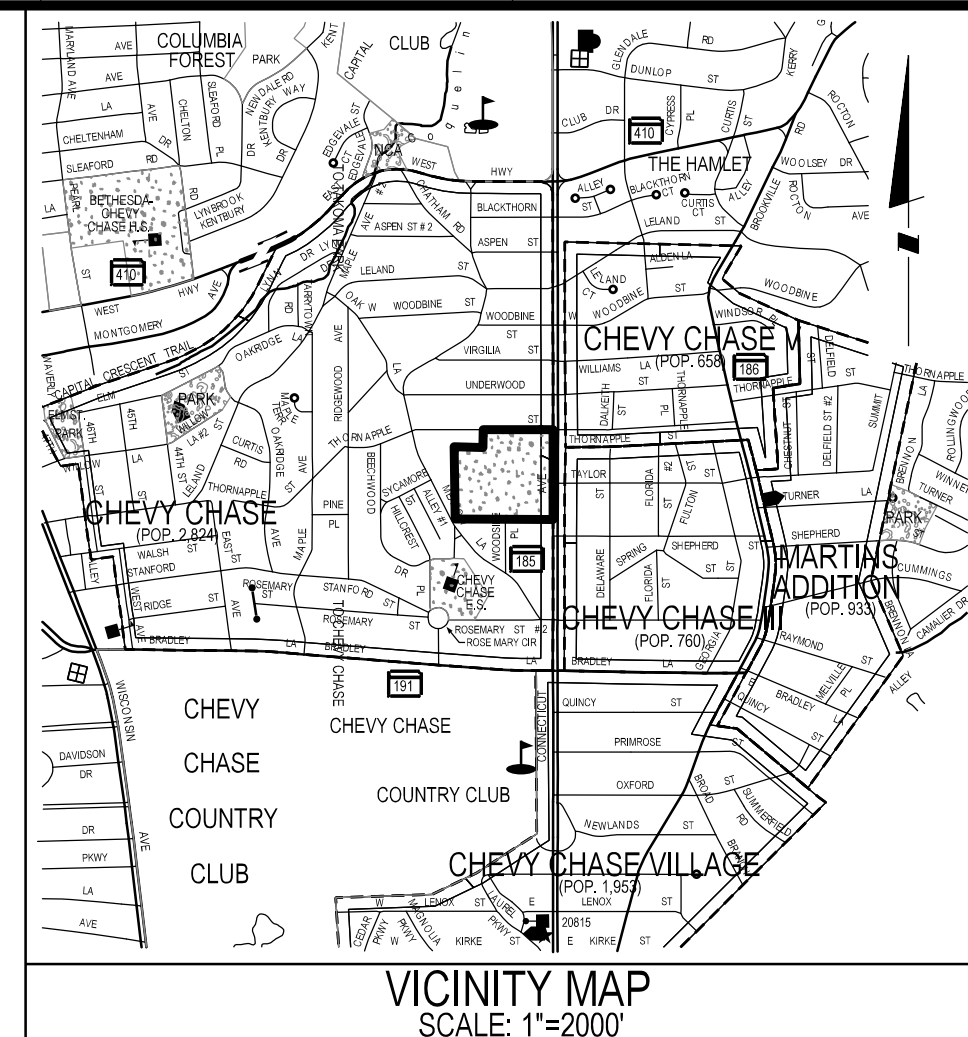
■ The Maryland-National Capital Park & Planning Commission

2425 Reedie Drive, Wheaton, MD 20902

www.montgomeryplanning.org/development

(301) 495-4550

CORSO CHEVY CHASE
H-148
SIGN POSTING PLAN



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Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.solteszco.com

Engineering
Surveying
Planning
Environmental Sciences

NO.	REVISIONS	BY	DATE
-----	-----------	----	------

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-231-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER / DEVELOPER / APPLICANT

Corso DC, LLC
700 K Street, NW
Washington, D.C. 20001
(202) 232-3068 (T)
FAX #
Contact: Grant Epstein

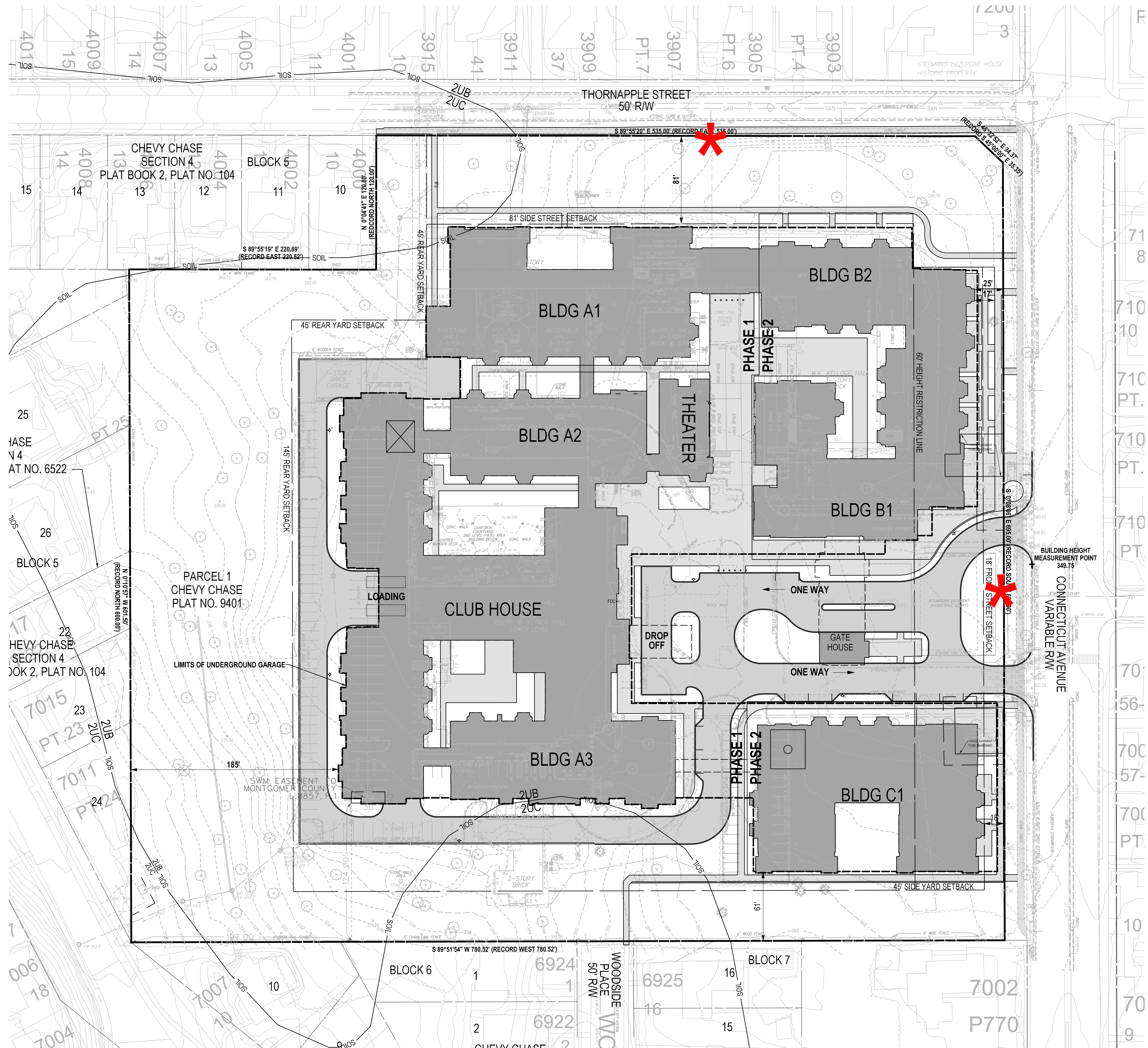
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. _____ EXPIRATION DATE: _____

SIGN POSTING PLAN
LOCAL MAP AMENDMENT H-148
CORSO CHEVY CHASE

TAX MAP HM42.0000	ZONING CATEGORY: CRMF-1.5, C-0.25, R-1.2S, H-70
WSBC 200' SHEET 208RW04	
SITE DATING HORIZONTAL: NAD 83/01 VERTICAL: NGVD83	
DATE: 10/25/2022 DESIGNED: NC TECHNICIAN: NC CHECKED: KDL CAD STPS. VERSION: V8 / NCS	
SHEET S-1	
PROJECT NO. 4180-01-01	

LEGEND
 PROPOSED SIGN



Note: Phasing lines are conceptual only and subject to adjustment.





September 29, 2022

Marco Fuster, Planner III
Montgomery County Planning Department
2425 Reedie Drive, Floor 13,
Wheaton, MD 20902

Re: Corso Chevy Chase
Preliminary Forest Conservation Plan – Specimen Tree Variance Request

Dear Mr. Fuster,

On behalf of Corso DC, LLC (Applicant), we are requesting a variance for the critical root zone (CRZ) impact to twenty-seven (27) specimen trees 30 inches or greater in DBH, as required under Section 22A-21 of Montgomery County's Forest Conservation Law; and additionally pursuant to recent revisions to the State Forest Conservation Law enacted by State Bill 666, where it notes that the variance pertains to "trees having a diameter measured at 4.5 feet above the ground of 30 inches diameter or 75% of the diameter of the current state champion tree of that species as designated by the department".

The Applicant is proposing development and associated site improvements for a Residential Care Facility (Over 16 Persons), including Independent Living, Assisted Living and Memory Care, on the subject property located at 7100 Connecticut Ave, Chevy Chase, MD (the "Property").

I. BACKGROUND/APPLICANT'S PROPOSAL

The Property is prominently located along Connecticut Avenue, in the southwest corner of the intersection of Connecticut Avenue and Thornapple Street. The Property is currently improved with five large institutional buildings and associated parking lots, most recently used for the National 4-H Conference Center. The Property has a net lot area of approximately 12.29 acres and is currently zoned R-60. The Applicant is seeking Local Map Amendment approval to rezone the Property to the CRNF-1.5, C-0.25, R-1.25, H-70' zone.

This Applicant proposes demolishing the developed area in the central part of the Property and providing buildings for a senior living community which includes a theatre, clubhouse, and underground parking. The project provides large wooded buffers along the north, west, and south perimeters of the Property that range from 45 to 145 feet wide. The project will be constructed o two phases.

The project requires the removal of eleven (11) specimen trees and critical root zone ("CRZ") impacts to sixteen (16) specimen trees, subject to the variance provision of the Forest Conservation Law.

II. EXPLANATION FOR NEED TO REMOVE THE TREES THAT IS IDENTIFIED IN STATE LAW FOR PROTECTION

A Natural Resource Inventory-Forest Stand Delineation NRI-FSD (#420222220) for this project was approved on 9/28/2022. The specimen trees which will be impacted by the project, subject of this variance request, are shown on the Preliminary Forest Conservation Plan submitted concurrently with this request.

The impact to these specimen trees results from the demolition of existing buildings and proposes the new building and associated site improvements. These existing trees are within the proposed limits of disturbance ("LOD") and will be removed or impacted due to conflicts with grading and demolition of existing buildings and on-site structures.

For reasons described in Section III and IV below, the Applicant respectfully requests the approval for removal of the variance trees listed, in order to utilize the required functional land area available in providing a senior living facility to serve the local and greater communities.

III. GENERAL DESCRIPTION AND JUSTIFICATION FOR TREES FOR WHICH A VARIANCE IS REQUESTED

This Forest Conservation Plan variance request is for the removal of eleven (11) on-site specimen trees and CRZ impacts to sixteen (16) specimen trees, resulting from the construction and demolition activities. The trees identified in this variance request for removal or CRZ impacts are shown on the Forest Conservation Plan. The trees to be removed are either wholly located within the LOD, or the LOD impacts to their CRZs are too large to expect tree survival.

Trees for Removal

The specimen trees proposed for removal are either directly within areas that will be graded to accommodate the development or within the LOD to provide the necessary facilities and infrastructure needed for the functionality of this development.

The trees that are subject to this variance request that are being removed due to direct impact from development, road and access alignment, and facilities includes: **Tree #54** (30" London Plane Tree) in Fair condition, **Tree #426** (30" London Plane Tree) in Fair condition, **Tree #434** (30" Ornamental Cherry) in Poor condition, **Tree #435** (31" Pin Oak) in Fair condition, **Tree #436** (32" Sycamore) in Poor condition, **Tree #437** (40" Sycamore) in Poor condition, **Tree #440** (30" Tulip Poplar) in Poor condition, and **Tree #441** (37" Southern Red Oak) in Fair condition.

The trees that are subject to this variance request that are being removed due to unavoidable and essential utility disturbance includes: **Tree #457** (31" Tulip Poplar) in Poor condition, **Tree #462** (33" White Oak) in Fair condition, and **Tree #489** (31" Tulip Poplar) in Fair condition.

<i>Variance Tree Removal</i>										
No.	Forest	Offsite	Common Name	Scientific Name	DBH (inches)	CRZ Area	CRZ Impact	% Impacted	Condition	Remove / Save
54			London Plane Tree	<i>Platanus acerifolia</i>	30	6359	6359	100%	Fair	Remove
426			London Plane Tree	<i>Platanus acerifolia</i>	30	6359	5297	83%	Fair	Remove
434			Ornamental Cherry	<i>Prunus avium</i>	30	6359	6359	100%	Poor	Remove
435			Pin Oak	<i>Quercus palustris</i>	31	6789	6789	100%	Fair	Remove
436			American Sycamore	<i>Platanus occidentalis</i>	32	7235	7235	100%	Poor	Remove
437			American Sycamore	<i>Platanus occidentalis</i>	40	11304	11304	100%	Poor	Remove

440			Tulip Poplar	<i>Liriodendron tulipifera</i>	30	6359	4556	72%	Poor	Remove
441			Southern Red Oak	<i>Quercus falcata</i>	37	9672	7125	74%	Fair	Remove
457	X		Tulip Poplar	<i>Liriodendron tulipifera</i>	31	6789	2175	32%	Poor	Remove
462	X		White Oak	<i>Quercus alba</i>	33	7694	2359	31%	Fair	Remove
489	X		Tulip Poplar	<i>Liriodendron tulipifera</i>	31	6789	2289	34%	Fair	Remove

Critical Root Zone (CRZ) impacts

There are sixteen (16) variance trees, including four (4) off-site trees that will be impacted by the limit of disturbance. The chart below shows the potential impacts to the Critical Root Zones of these trees, ranging from 2% to 40%. These CRZ impacts are the result of the grading and development on the Property. Tree protection measures will be adopted to protect them from being damaged during and after construction.

Variance Tree Impact										
No.	Forest	Offsite	Common Name	Scientific Name	DBH (inches)	CRZ Area	CRZ Impact	% Impacted	Condition	Remove / Save
43	X		Tulip Poplar	<i>Liriodendron tulipifera</i>	35	8655	144	2%	Fair	Save
48		X	Red Oak	<i>Quercus rubra</i>	31	6789	1471	22%	Poor	Save
49		X	London Plane Tree	<i>Platanus acerifolia</i>	35	8655	3465	40%	Good	Save
50		X	Willow Oak	<i>Quercus phellos</i>	36	9156	2514	27%	Fair	Save
51		X	Willow Oak	<i>Quercus phellos</i>	35	8655	1960	23%	Fair	Save
443	X		Tulip Poplar	<i>Liriodendron tulipifera</i>	41	11876	3342	28%	Fair	Save
445	X		Tulip Poplar	<i>Liriodendron tulipifera</i>	34	8167	58	1%	Fair	Save
448	X		Tulip Poplar	<i>Liriodendron tulipifera</i>	35	8655	1663	19%	Good	Save
449	X		White Oak	<i>Quercus alba</i>	34	8167	185	2%	Good	Save
453	X		White Oak	<i>Quercus alba</i>	31	6789	2240	33%	Fair	Save
454	X		White Oak	<i>Quercus alba</i>	32	7235	773	11%	Poor	Save
464	X		Southern Red Oak	<i>Quercus falcata</i>	31	6789	1043	15%	Poor	Save
476	X		White Oak	<i>Quercus alba</i>	31	6789	330	5%	Poor	Save
488	x		Tulip Poplar	<i>Liriodendron tulipifera</i>	38	10202	3507	34%	Good	Save
491	X		Tulip Poplar	<i>Liriodendron tulipifera</i>	33	7694	2554	33%	Good	Save
493	X		Tulip Poplar	<i>Liriodendron tulipifera</i>	30	6359	1219	19%	Fair	Save

Mitigation

Out of the eleven (11) trees that are being removed, eight (8) of them are outside of forest stand areas. The remaining three (3) are being removed within the forest stand for various reasons including storm drain outfall pipe and sewer connection. Together, all eight (8) trees to be removed equate to a conglomerated DBH of 260 inches. This results in a mitigation requirement of sixty-five (65) inches (calculated at a rate of 1" caliper replacement for every 4" DBH removed). This yields approximately nineteen (19) trees at 3.5" caliper each. All of these replacement trees will be provided on-site.

Variance Tree Mitigation Planting Requirements			
No.	Common Name	Scientific Name	DBH (inches)
54	London Plane Tree	<i>Platanus acerifolia</i>	30
426	London Plane Tree	<i>Platanaus acerifolia</i>	30
434	Ornamental Cherry	<i>Prunus avium</i>	30
435	Pin Oak	<i>Quercus palustris</i>	31
436	American Sycamore	<i>Platanus occidentalis</i>	32
437	American Sycamore	<i>Platanus occidentalis</i>	40
440	Tulip Poplar	<i>Liriodendron tulipifera</i>	30
441	Southern Red Oak	<i>Quercus falcata</i>	37
Total DBH Removed			260.0
Total Caliper Replacement Required (1" caliper/4" DBH)			65.0

IV. SATISFACTION OF THE CRITERIA LISTED IN SECTION 22A-21(b) OF THE MONTGOMERY COUNTY CODE

Section 22A-21(b) lists the application requirements for tree variance requests. The following narrative demonstrates how the requested variance is justified under these criteria. This Forest Conservation Plan variance request is for eleven (11) on-site specimen trees being removed and sixteen (16) specimen trees being impacted, but not requiring removal.

(1) Describe the special conditions peculiar to the property which would cause the unwarranted hardship;

The Property is a very large site that has long-since been used as an institutional use. The Property is surrounded by single-family residential homes on all four sides. The Applicant proposes to redevelop the dilapidated existing institutional use with a compatible, residential-scaled, senior housing community.

Specifically, the Town of Chevy Chase has formally identified environmental priorities for preserving existing forest and tree canopy. More specifically, preservation of the forest stand within the 81' setback from Thornapple Drive to the north, and the forest stand along the western and southern portions of the site. To ensure compatibility, and satisfy the requests of the Town of Chevy Chase, the project has been strategically designed to retain the existing tree canopy along the northern, southern and western Property Boundaries, which will continue to provide both a physical and visual buffer from the surrounding homes. The project accomplishes this by utilizing only the existing entrances off Connecticut Avenue and confining the development area to that portion of the Property previously occupied with buildings and parking.

As part of the functional needs of the senior living facility, amenity spaces are required in close proximity to all residential units, to provide easy access for the use and enjoyment of the senior residents. These spaces are provided by a series of courtyards between each wing of the building. In order to preserve the forest standard and tree canopy around the perimeter of the Property, parking for the project will be located entirely below grade. To provide for efficient circulation and access to each of the buildings, a single-slab below-grade structured parking is required. This continuous parking structure will ensure safe and efficient access to each of the eight elevator cores, which are necessary to provide essential services for the residents of the facility. As previously mentioned, the building, parking, and utilities have been oriented toward the center of the Property and along the Connecticut Avenue frontage, to preserve and respect the existing forest stands on the northern, southern and western property boundaries, and to avoid specimen trees contained therein. The tree removals and CRZ impacts proposed are necessary to accommodate the demolition of the dilapidated existing buildings and construction of the project.

Eight specimen trees that are located between the existing buildings are proposed to be removed due to the configuration of the project and presence of a continuous below-grade parking structure. There are also impacts to specimen street trees along Connecticut Avenue. Those trees with careful preservation and treatment, are proposed to be impacted but saved. The remaining tree impacts to Tree 489, Tree 462 and Tree 457 are impacted due to utility impacts related to the proposed development, necessary to convey storm drainage safely off the Property at the low point of the site.

The existing dilapidated institutional buildings on the Property that must be demolished to accommodate this more compatible, residential-style project, as well as the presence of existing forest stand and tree canopies around three sides of the Property that the Applicant seeks to preserve, are special conditions that are peculiar to this Property that would result in an unwarranted hardship to the Applicant if the request for removal for eleven (11) specimen trees and impacts to sixteen (16) specimen trees is not granted.

(2) *Describe how enforcement of these rules will deprive the landowner of rights commonly enjoyed by others in similar areas;*

Without the allowance of variance tree removals and CRZ impacts, redevelopment of this Property with this project would not be feasible. The Applicant would not be able achieve an economy of scale to support and sustain this desirable senior living community, including the necessary site amenities and services that are essential to this more compatible residential use. More than 90% of the proposed development is proposed on top of land already occupied by infrastructure of buildings, parking, and utilities. The 0.57 acres of forest removed is almost entirely being removed solely to support utility connections to existing utilities and infrastructure off-site and removal of existing infrastructure on-site. It would also deprive the Applicant of opportunities reasonably enjoyed by others with similarly situated properties. Any redevelopment of the Property would require similar levels of disturbance. As such, the ability to develop the Property for a use allowed in the zone would be eliminated with further encumbrances to utility connections.

Without the granting of the variance, many of the environmental benefits conferred by the proposed development would be lost. The majority of existing forest is proposed to be protected in a Category I Forest Conservation Easement and the Applicant is also proposing clean-up to remove invasive species and debris, and provide needed open space and protected forest. In addition, the Property is to be graded to provide water quality on-site and structured parking which will help slow runoff in forested areas and provide cleaner water on and off-site.

(3) *Verify that state water quality standards will not be violated or that a measurable degradation in water quality will not occur as a result of the granting of the variance;*

The Property is located in the Lower Rock Creek Watershed. The existing site condition is mostly impervious surfaces on concrete and asphalt in the center of the Property, with forest on the northern, southern, and western perimeters of the Property. There are no streams, or associated stream valley buffers, on the Property. As such, the tree removals and CRZ impacts requested will not result in any measurable degradation in water quality. Additionally, the proposed project exceeds the forest conservation worksheet requirement by 0.43 acres by reducing the amount of forest removal on-site. The remaining forest will be placed inside of a Category I Forest Conservation Easement and remove any non-native invasive plants to provide a more natural environment.

In addition, a proposed stormwater management design will meet the latest State and local stormwater management standards, where none exists today. These standards will minimize the outfall flow and reduce the possibility of erosion. The Applicant is confident that the stormwater facilities installed in concurrence with the new development will not just protect the current water quality, but enhance it. As such, the granting of this variance will not violate State water quality standards.

The granting of this variance request will not violate State water quality standards or cause measurable degradation in State water quality standards.

(4) Provide any other information appropriate to support the request.

The Applicant believes the information set forth above is adequate to justify the requested variance to remove the specimen trees on the Property. However, it is important to also emphasize the mitigation efforts that the Applicant is proposing, as follows:

- **Mitigation tree plantings -- While the proposed development necessitates the impact to 27 specimen trees, it will mitigate a portion of those trees on-site.**
- Exceeding the Forest Conservation Easement requirements – The Property is retaining 3.14 acres of forest on-site which is 0.43 acres above the forest retention threshold for mitigation.
- Additional plantings – The Applicant is proposing to remove the bamboo and other invasive species and debris on-site, and supplement with natural plantings and buffering trees to restore the forest area to more native and natural state.
- Reduction in grading - In order to respect the priority forest, the Applicant proposes the use of a retaining wall system, thus minimizing disturbance of specimen trees within the priority forest areas. The location of buildings was purposefully located to limit disturbance and construction impacts on the larger variance trees in good and excellent condition and trees within the priority forest areas.

Furthermore, the Applicant's request for a variance complies with the "minimum criteria" of Section 22A-21(d) for the following reasons:

1. This Applicant will receive no special privileges or benefits by the granting of the requested variance that would not be available to any other applicant. As discussed above, the removal of the trees is necessary to support a viable project and facilitate the replacement of the dilapidated institutional use with a more compatible senior living community. As also discussed above, the Variance will prevent the deprivation of rights to the Applicant that have been enjoyed by others similarly situated.
2. The variance is not based on conditions or circumstances which result from the actions by the Applicant. As discussed above, the location and configuration of the existing physical features of the Property necessitate the removal of the identified specimen trees in order to accommodate the proposed facilities.
3. The requested variance is not related in any way to a condition relating to land or building use on an adjacent, neighboring property.

Thank you for your consideration of this Tree Variance Request. We believe that the supporting information provided with this letter clearly demonstrates that the grant of the Variance pursuant to Section 22A-21(b) of the Code is appropriate. Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,
SOLTESZ

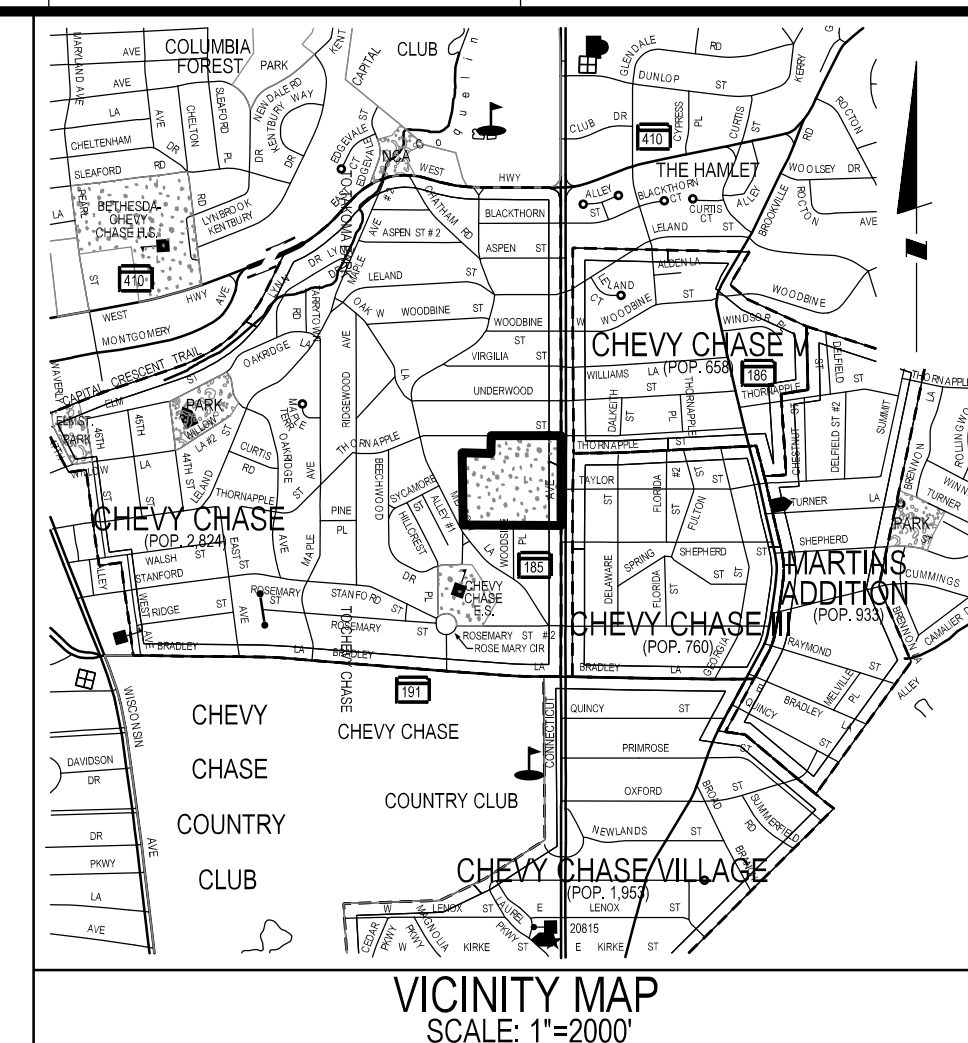


Keely D. Lauretti

CORSO CHEVY CHASE

PRELIMINARY FOREST CONSERVATION PLAN - H148

BETHESDA (7TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND



ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.solteszco.com

Engineering
Surveying
Planning
Environmental Sciences

GENERAL NOTES:

1. SITE AREA: 12.29 AC, NET LOT AREA
2. ZONED: CRNF-1.5, C-0.25, R-1.25, H-70
3. THIS PARCEL IS IDENTIFIED AS PARCELL (P000) ON BLOCK 5 AND TAX ACCOUNT NUMBER 00464946.
4. THE SITE IS WITHIN THE LOWER ROCK CREEK WATERSHED, USE CLASS: I (SOURCE: MDE).
5. THERE ARE NO EXISTING STREAMS ON SITE.
6. THERE ARE NO WETLAND THAT EXIST ON SITE.
7. THERE ARE NO FLOODPLAINS SHOWN ON MNCPPC GIS FLOODPLAIN DATA OR PER FEMA MAP 24031C0455D.
8. THE SITE IS NOT WITHIN A SPECIAL PROTECTION AREA OR PRIMARY MANAGEMENT AREA.
9. THE SITE IS LOCATED ON THE LOCATION ATLAS AND INDEX OF HISTORIC SITES (SOURCE: MCATLAS).
10. THERE ARE NO KNOWN RARE, THREATENED, OR ENDANGERED SPECIES OCCURRING ON THE PROPERTY, PER LETTER FROM MD DNR DATED 4/4/2022 AND FIELD OBSERVATION CONDUCTED ON 2/10/2022.
11. THERE ARE NO STATE OR COUNTY CHAMPION TREES EXIST ON THE SITE.
12. BUILDING AND UTILITIES ARE SHOWN BUT LOCATION ARE NOT FINAL UNTIL SITE PLAN.
13. PROPERTY IS SUBJECT TO EXISTING CONDITIONAL USE/SPECIAL EXCEPTION CBA4217.
14. THE EXISTING FOREST CONSERVATION EXEMPTION #42001364E WAS APPROVED ON 6/20/2001 FOR A BUILDING ADDITION AND NEW PATIO NEAR THE NE PORTION OF THE SITE.

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER / DEVELOPER / APPLICANT

Community Three
650 F St. NW
STE 650
Washington, D.C. 20004
(202)335-3068 (T)
FAX #
Contact: Grant Epstein

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. EXPIRATION DATE:

PRELIMINARY FOREST CONSERVATION PLAN PRELIMINARY FOREST CONSERVATION PLAN - H148 CORSO CHEVY CHASE

TAX MAP H148.0000	ZONING CATEGORY: CRNF-1.5, C-0.25, R-1.25, H-70
WSHC 200' SHEET 208R0004	
SITE DATUM HORIZONTAL: NAD 83/91 VERTICAL: NAVD83	
DATE: 10/25/2022 DESIGNED: NC CHECKED: NC CAD STOPS: V8 / NCS	
PROJECT NO. 4180-01-01	

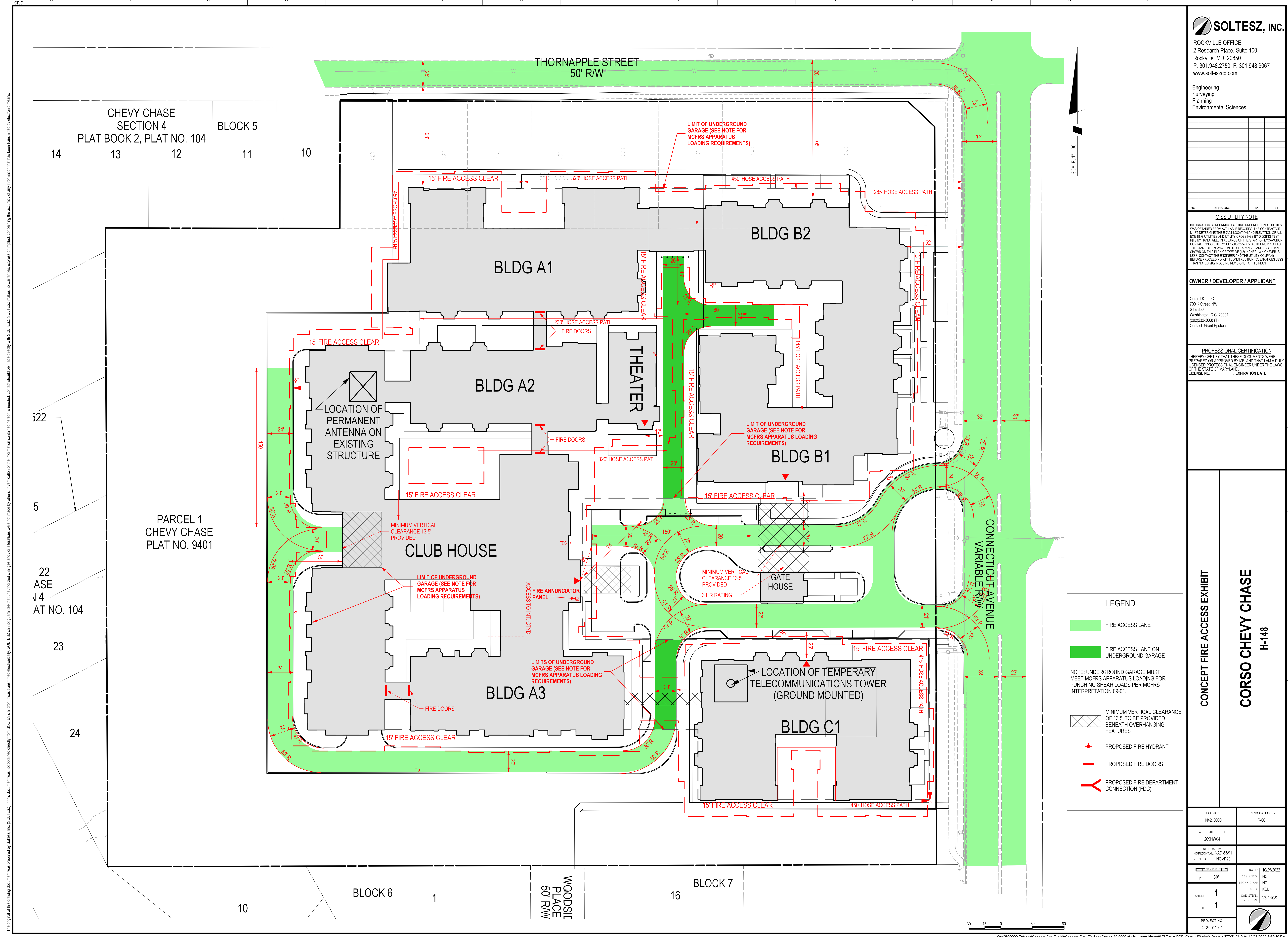
LEGEND:

- BOUNDARY LINE
- ADJACENT PROPERTY LINE
- L.O.D.
- LIMITS OF DISTURBANCE
- SPECIMEN TREE AND CRZ
- SIGNIFICANT TREE AND CRZ
- TREE TO BE REMOVED
- PROPOSED CONTOUR
- ROOT PRUNING
- TREE SAVE FENCE
- SOIL LINE AND LABELS
- EXISTING TREELINE
- FOREST DELINEATION LINE
- INVASIVE SPECIES
- FOREST TO BE CLEARED
- EXISTING FOREST TO REMAIN*

NOTE:

* EXISTING FOREST TO REMAIN WILL BE PROTECTED WITHIN A CATEGORY I FOREST CONSERVATION EASEMENT

0 20 0 40 80





May 31, 2022

Katherine Mencarini
Planning Coordinator
Montgomery County Planning Department
2425 Reedie Drive, 13th Floor
Wheaton, Maryland 20902

RE: LATR Exemption Letter for 4-H Corso Connecticut Avenue
Montgomery County, Maryland

Dear Ms. Mencarini:

This letter serves as a Traffic Statement and a justification for exemption from a Local Area Transportation Review (LATR) study for the proposed redevelopment of the 4-H headquarters Building located at 7100 Connecticut Avenue in the Bethesda/Chevy Chase policy area of Montgomery County, Maryland.

The property has served as the Headquarters of 4-H and the site contains the 93,301 headquarters office building, and a 183-room hotel with 37,500 square feet of meeting space. The applicant proposes to redevelop the property with up to 450 senior/assisted living units. Vehicular access to the site will remain as currently provided for 4-H facilities on Connecticut Avenue.

We have prepared a trip generation analysis for the subject property comparing the existing site development to the proposed use in accordance with the latest edition of the Maryland National Capital Park and Planning Commission (MNCPPC) Local Area Transportation Review (LATR) guidelines.

Based on the trip generation analysis attached in Table 1, the proposed use will generate 164 AM peak hour and 239 PM peak hour person trips. Of these person trips, they will generate 93 AM peak hour and 137 PM peak hour auto driver trips. By contrast, the existing use generates 285 AM peak hour and 299 PM peak hour person trips, and 175 AM peak hour and 183 PM peak hour auto driver trips.

As shown in Table 1 the change in use on this property will reduce both the person trips and auto driver trips. The net reduction of person trip during the AM peak hour is -121 and -60 during the PM peak hour. The auto driver trips reduction during the AM peak hour will be -82 trips and during the PM peak hour the auto driver trip reduction will be -46 trips.

The LATR guidelines stipulate that credit for existing site trips may be considered to determine if “the proposed use will be replacing an existing land use that was occupied for more than 12 years” and proposed use will not increase the 50-person trip threshold requiring an LATR study. Since the proposed use will replace a use that has been occupied for more than 12 years and result in a net reduction of person trips (well below the 50-person trip standard), the site is exempt from an LATR study.

If you have any questions regarding the above Traffic Statement, please call me at (410) 353-7340 or email me at amrandall@mjwells.com.

Sincerely,

A handwritten signature in cursive script, appearing to read "Nancy Randall".

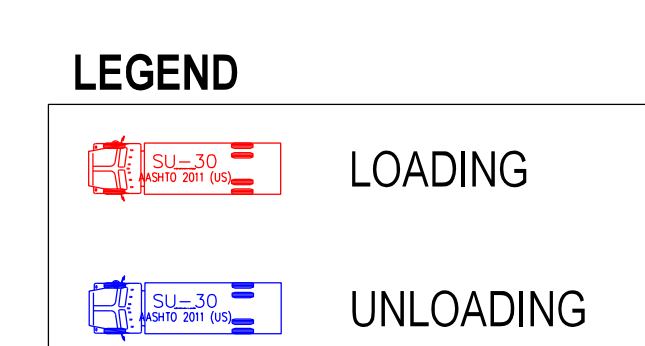
Nancy Randall, AICP
Principal Associate

Table 1
Corso CC - 4th Site
Trip Generation for Scenario 2 ^{(1) (2)}

Land Use	LUC	Amount	Unit	ITE Trip Generation			2022 LATR Trip Generation Rate Adjustment Factors / Mode Split Adjustments														
				AM Peak Hour			PM Peak Hour			AM Peak Hour					PM Peak Hour						
				In	Out	Total	In	Out	Total	Auto Driver (Vehicle Trips)	Auto Passenger	Transit Trips	Non- Motorized (Bicycle Trips)	Pedestrian (Walking Trips)	Total Person Trips	Auto Driver (Vehicle Trips)	Auto Passenger	Transit Trips	Non- Motorized (Bicycle Trips)	Pedestrian (Walking Trips)	Total Person Trips
Existing Uses																					
Hotel ⁽¹⁾	310	183	Rooms	47	37	84	55	53	108	66	19	14	11	25	109	85	24	18	14	32	140
Corporate Headquarters Building	714	93,301	S.F.	126	9	135	11	110	121	109	31	20	16	36	176	98	28	18	15	33	159
			Subtotal	173	46	219	66	163	229	175	50	34	27	61	285	183	52	36	29	65	299
Proposed Uses																					
Assisted Living/memory care	254	220	Beds	24	16	40	21	32	53	35	15	5	8	13	62	46	19	6	10	16	82
Senior Adult Housing - Multifamily	252	287	DU	19	36	55	42	30	72	48	20	7	11	18	86	63	26	9	14	23	112
Strip Retail Plaza (<40k)	822	5,000	S.F.	7	5	12	17	16	33	10	4	1	2	3	16	28	11	1	5	6	45
			Subtotal	50	57	107	80	78	158	93	39	13	21	34	164	137	56	16	29	45	239
			Net New Trips	-123	11	-112	14	-85	-71	-82	-11	-21	-6	-27	-121	-46	4	-20	0	-20	-60

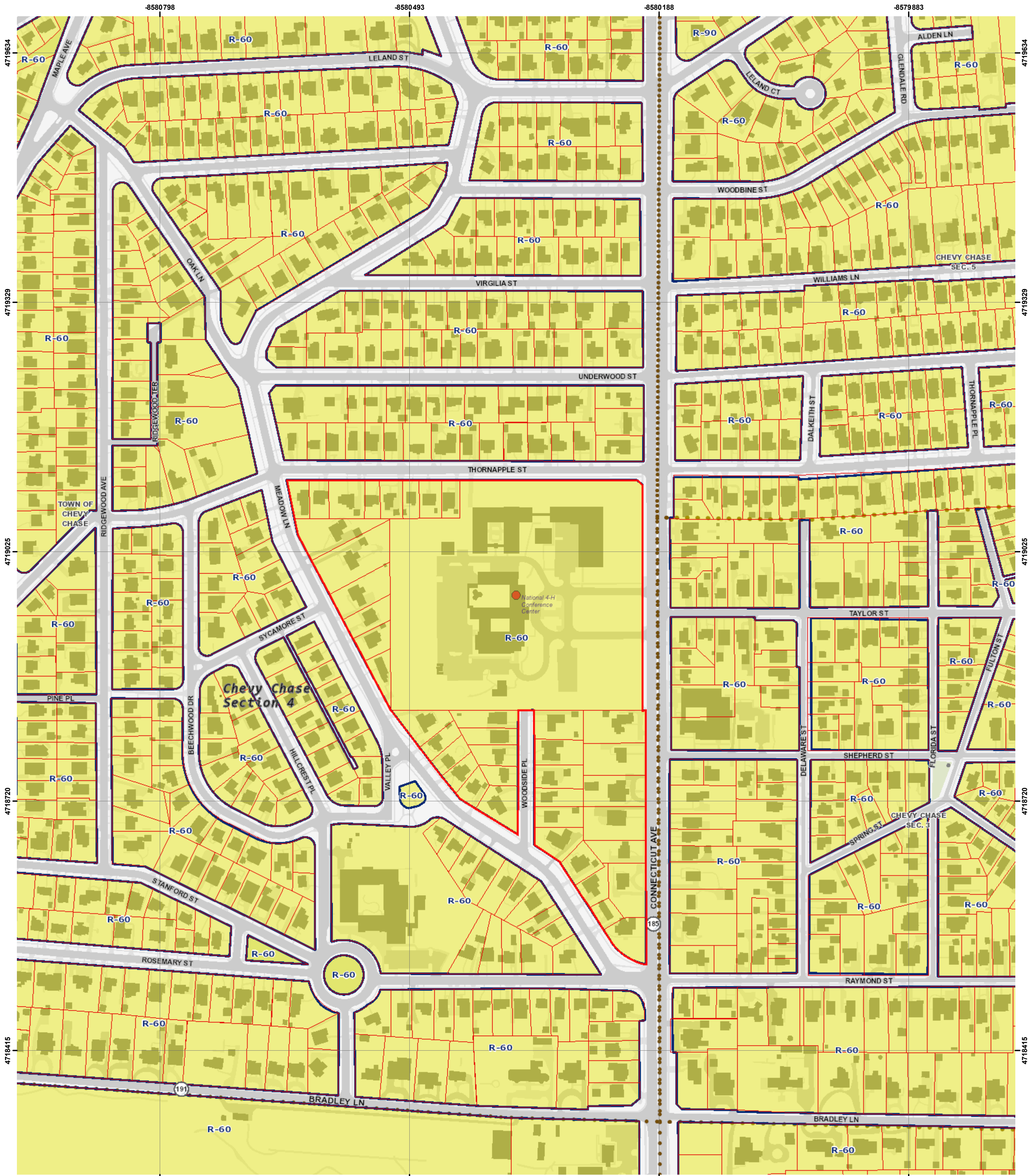
Notes:
(1) Trip Generation based on the Institute of Transportation Engineers' (ITE) Trip Generation Manual, 11th Edition.
(2) Bethesda/Cherry Chase Policy Area
(3) 37,500 SF of Meeting and Conference Use was assumed to be within the Hotel.





NOTES CONCERNING ZONING IN RIGHTS-OF-WAY
1. Zone boundaries within rights-of-way previously dedicated by plat or other method of subdivision can be included in map amendments for density purposes; rights-of-way included in a map amendment boundary assume the new zoning assigned in the map amendment.

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MONTGOMERY COUNTY ZONING MAP

The Maryland-National Capital Park and Planning Commission

Montgomery County Planning Department



Account #	00464946
Address	7100 CONNECTICUT AVE CHEVY CHASE, 20815
Landuse	Institutional/Community Facility
Legal Description	PAR 1 CHEVY CHASE SE
Zone	R-60
Overlay Zone	N/A
TDR Overlay Zone	N/A
Parking District	N/A
CBD	N/A
Parcel, Lot, Block	N/A , N/A , 5

Special Protection Area	N/A
Urban District	N/A
Enterprise Zone	N/A
Arts & Ent. District	N/A
Special Tax District	N/A
Bike/Ped Priority Area	N/A
Urban Renewal Area	N/A
Metro Station Policy Area	N/A
Priority Funding Area	Yes
Septic Tier	Tier 1: Sewer existing
Municipality	TOWN OF CHEVY CHASE
Master Plan	BETHESDA CHEVY CHASE
Historic Site/District	N/A

WSSC Grid	209NW04
Map Amendments	G-666 G-956
Water/Sewer Categories	W-1 / S-1

I certify that this document is a copy of the official Montgomery County Zoning Maps as downloaded on 6/10/2022 from [MCATLAS.ORG/ZONING](https://mcAtlas.org/zoning).

Signed

Uppine Myers

Printed: 6/10/2022

1 inch = 250 feet



The original of this drawing document was prepared by Soltesz, Inc. (SOLTESZ). If this document was not obtained directly from SOLTESZ and/or it was transmitted electronically, SOLTESZ cannot guarantee that unauthorized changes and/or alterations were not made by others. If verification of the information contained herein is needed, contact should be made directly with SOLTESZ. SOLTESZ makes no warranty, express or implied, concerning the accuracy of any information that has been transmitted by electronic means.



Scott C. Wallace
301.517.4813
swallace@milesstockbridge.com

August 18, 2021

Mr. Joseph Whitehouse
WNSL Owner, LLC
c/o Kisco Development, LLC
5790 Fleet Street, Suite 300
Carlsbad, CA 92088

Re: Zoning and Entitlements Overview for 10100 Washingtonian Boulevard, Gaithersburg, Maryland 20877 (the "Property")

Dear Mr. Whitehouse:

Our client, WNSL Owner, LLC, has asked Miles & Stockbridge to review the Property's zoning and entitlement status with regard to the proposed development of a multi-family senior housing project on the Property (the "Project"). This review is based on available public records and documents, including real property information from the State of Maryland Department of Assessments and Taxation ("SDAT"), the Land Records of Montgomery County (the "Land Records"), the City of Gaithersburg Zoning Ordinance (the "Zoning Ordinance"), the City Zoning Map, and the files of the City's Planning and Code Administration ("PCA"). For purposes of this review, we have assumed the accuracy and completeness of these collected materials.

This review is not a zoning opinion and should not be relied upon as such. This review is intended merely to provide you with basic and preliminary information on the Property where readily available. We note that Miles & Stockbridge has not been provided with an ALTA survey. Therefore, the matters discussed in this letter may be affected by matters affecting survey and title. Lastly, as of the date of this letter, we have no continuing obligation to monitor or update the information contained herein.

I. The Property

The Property consists of a single, subdivided record lot shown as "Lot 9" on a plat titled "Lot 9 and Parcel A, Block D, Washingtonian Center" and recorded among the Land Records as Plat No. 24912 (the "Record Plat"), attached as Attachment "1". According to the Record Plat the Property contains 8.5258 acres. The Property is currently unimproved.

II. Current Zoning - Permitted Density and Development Standards

According to the City Zoning Map, attached as Attachment "2", the Property is zoned Mixed Use Development ("MXD"). The MXD Zone is a mixed-use zone that permits a variety of

11 N. WASHINGTON STREET, SUITE 700 | ROCKVILLE, MD 20850-4276 | 301.762.1600 | milesstockbridge.com
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commercial, retail, and residential uses, including multi-family housing for the elderly.¹ With regard to permitted residential density in the MXD Zone, Section 24-160D.4 of the Zoning Ordinance provides:

[T]he residential density in the MXD Zone shall not exceed the residential density or total number of dwelling units stated in the applicable master plan, if any. The total number of dwelling units and the corresponding overall density, as well as the approximate location of such units, shall be established at the time of sketch plan approval pursuant to Section 24-160D.5(a).

The Property is subject to the recommendations of the 2003 City Master Plan (the "Master Plan"). The Master Plan confirmed the MXD Zone for the Property and did not state a maximum number of residential units permitted for the Property. As discussed in detail below, the maximum permitted residential density for the Property (330 units of housing for the elderly) was established at the time of Sketch Plan approval.

III. Current Entitlements

A. Fourth Amendment to Annexation Agreement

Development of the Property is subject to the terms and conditions of the Fourth Amendment to Annexation Agreement among Washingtonian North Associates, LLC, SHA Capital Investments, LLC, and the City of Gaithersburg, dated July 27, 2018 and recorded in the Land Records at Liber 56441, folio 223 (the "Amended Annexation Agreement"), attached as Attachment "3". Paragraph 2 of the Amended Annexation Agreement provides:

Development on the Property shall be limited to a maximum of 330 units, which shall include a mix of residential units that Gaithersburg defines as "Housing for the Elderly," including Independent Living units, Assisted Living units, Memory Care, and Skilled Nursing units in one or more buildings and to be constructed in one phase, as shown on the Proposed Land Use/Sketch Plan Exhibit and in accordance with the Maximum Density Table Percentage of Units included thereon, attached hereto and

¹ Pursuant to Section 24-1 of the Zoning Ordinance, "Housing for the elderly" is defined as a "building or buildings containing residential units and related accessory facilities, such as dining, recreational services or therapy areas, where the occupancy of the dwellings is restricted to elderly persons as defined herein. Such facilities may include independent living, assisted living, day care, skilled nursing facilities, memory care, or other services to the elderly persons of the community. Any combination of the foregoing uses may be allowed and still be considered as qualifying under this definition."

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incorporated by reference herein as Exhibit "2" (previously defined herein as the "Project"). All of the units in the Project shall be limited to occupancy by elderly persons as included in the definition of *persons, elderly* in Section 24-1 of the Gaithersburg Zoning Ordinance in effect as of the date of this Amendment, so that occupancy shall be restricted to persons who are sixty-two (62) years of age or over or families where either the head of household or his or her spouse or his or her partner is sixty-two (62) years of age or older. No building constructed in the Project shall exceed 80 feet in height as measured in accordance with the definition of "building height" in Section 24-1 of the Gaithersburg Zoning Ordinance as of the date of this Amendment.

The Sketch Plan referenced in Paragraph 2 of the Amended Annexation Agreement (Exhibit "2" to Attachment "3") shows a building envelope for permitted development and the approximate size and configuration of required conservation easements. The Notes on the Sketch Plan also provide certain standards for development on the Property, including a maximum permitted density of 330 units of housing for the elderly and a maximum building height of 80'.

The Amended Annexation Agreement also includes, at Paragraph 5, certain provisions required as a condition of development on the Property as follows:

SHA [Capital Investments, LLC] agrees to support and facilitate its residents' use of the Benjamin Gaither Center ("Center") and shall: (i) pay to the City at the time of receipt of the Project's first building permit the amount of Fifty Thousand Dollars (\$50,000.00) for use by the Center; (ii) provide a qualified SHA associate to teach a one-hour memory care class weekly at the Center; (iii) pay the annual membership fee (based on the fee rate for City residents) for the Center for any of its residents that join the Center; (iv) provide transportation at no cost to its residents to and from the Center; and (v) promote activities and events at the Center to its residents. SHA shall be obligated to provide items (ii) through (v) above to the Center for a maximum period of five years from the date of initial occupancy of the Project so long as the Center is open and being used as a senior center and the Project is still in operation.

Finally, the Amended Annexation Agreement provides, at Paragraph 4, the requirements for affordable housing units, including the percentage of each type of unit (independent living, assisted living, memory care and skilled nursing) that must be provided as affordable units and the formula for determining permitted fees for affordable units. We note that the affordable housing requirements for the Project were subsequently established in the Affordable Housing Plan dated June 25, 2021, attached as Attachment "4".

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B. Schematic Development Plan (SDP) - 8091-2018

Development of the Property is subject to the terms and conditions of SDP-8091-2018 (the "SDP") approved, with conditions, by the Mayor and City Council of Gaithersburg by Resolution No. R-45-19 dated July 1, 2019 (the "Resolution"), attached as Attachment "5". A copy of the stamped, approved SDP is attached as Attachment "6". The SDP was approved for 310 units of housing for the elderly and associated amenities in a single building. The applicable development standards for the Project, including building setbacks, height, and parking requirements, are shown on Sheet 1 of the SDP. The Resolution states, as a required finding for approval, that the SDP is consistent with the Amended Annexation Agreement and associated Sketch Plan.

C. Site Development Plan (SP)-8250-2019 as Amended

Development on the Property is also subject to SP-8250-2019 (the "Site Plan"), approved, with conditions, by the City Planning Commission by letter dated December 4, 2019. The Site Plan was approved for development of housing for the elderly with a maximum of 310 units. The Site Plan was subsequently amended to accommodate minor changes to the development program, building architecture, building footprint and site design. The most recent Site Plan Amendment, designated AFP-8917-2021, was approved by Planning Commission Staff by letter dated June 28, 2021 (the "June 2021 Site Plan"), attached as Attachment "7". A copy of the stamped, approved June 2021 Site Plan is attached as Attachment "8". The June 2021 Site Plan was approved for the development of 302 senior living units, including a mix of independent, assisted living and memory units, intergraded structured parking and associated amenities on the Property.

Pursuant to Section 24-173(a) of the Zoning Ordinance:

one or more of the uses proposed for land which is the subject of the site development plan shall be established on such land within two (2) years after the date of approval of the plan or the plan shall become void; provided, that the planning commission may extend such time upon request filed within the two-year period and may grant further a one-year extension upon request filed within the period of any extension; provided, that the total length of the original approval and extension shall not exceed three (3) years. Such extension requests may be processed as consent items as described in Section 24-172A(a).

Section 24-173(c) of the Zoning Ordinance further provides the "[w]here the site development plan contemplates the construction of one or more new buildings or structures, the use shall be established within the meaning of this section when construction of one or more of such buildings has been commenced." The approval letter for June 28, 2021 Site Plan states the

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approval expires on June 28, 2023. Construction of the Project pursuant to the June 2021 Site Plan must commence by that date, or an extension approved by the City, or the Site Plan will be void.

In summary, based on the foregoing it appears that development of the Project consisting of up to 302 units of housing for the elderly and shown on the June 2021 Site Plan is permitted provided that the developer duly and timely obtains, and complies with the terms and conditions of, all permits, licenses, and approvals as are required in connection with particular improvements and structures, such as grading and stormwater management permits, building permits, sign permits, utility connections, and use and occupancy certificates.

We hope this information is helpful to you. If you have any questions, please do not hesitate to contact me. Thank you.

Very truly yours,

Scott C. Wallace

Attachments

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Engineering
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NO. REVISIONS BY DATE

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY OBTAINING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT THE UTILITY AT 1-800-325-3777. 48 HOURS BEFORE THE START OF EXCAVATION, IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHATEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER / DEVELOPER / APPLICANT

ALTANSPS LAND TITLE SURVEY
PROPERTY OF
NATIONAL 4-H COUNCIL
LIBER 4924 FOLIO 22
BETHESDA (TOWN ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND)

TAX MAP HM2	ZONING CATEGORY:
WSBC 200' SHEET	
SITE DATUM HORIZONTAL: 83/2011 VERTICAL: N/A	
1" = N/A	DATE: J.W.B. DESIGNED: J.W.B. TECHNICIAN: J.W.B. CHECKED: B.L.W. CAD STYL: V8 / NCS VERSION:
SHEET 2 OF 2	
PROJECT NO. 4180-01-01	

LEGAL DESCRIPTION


Being situated in Montgomery County, Maryland and identified as Montgomery County Tax Account Number 00464946, the said land shown hereon is all of that piece or parcel of land shown as Parcel 1, on a plat entitled "Parcel 1, Block 5, Section 4, Chevy Chase" recorded among the Land Records of Montgomery County, Maryland in Plat Book 88, as Plat No. 9401 and is further described as now surveyed in the Maryland State Plane, NAD 83/2011 datum as follows.

Beginning for the same at an Iron Pinch Pipe found along the eastern right of way line of Meadow Lane as shown on a plat recorded among the said land records in Plat Book 2, Plat No. 104 (Plat No. 104), marking the southwestern most corner of the herein described land and also marking the southernmost corner of Lot 24, Block 5, Chevy Chase, Section 4 as shown on the said Plat No. 104 along with the northwestern most corner of Lot 10, Block 6, Chevy Chase, Section 4 as shown on the said Plat No. 104. Said Iron Pinch Pipe having coordinates in the Maryland State Plane, NAD 83/2011 datum of North 478,367.47, East 1,289,561.16. Thence, departing said point so fixed and binding along the rear of the said Lot 24, Block 5, Chevy Chase, Section 4 and the rear of Lots 23 and 22 along with the rear of Lots 26 and 25 as shown on a plat entitled "Lots 25 & 26 – Block 5, (A Resubdivision of Lots 20, 21 & Part of 22), Section 4, Chevy Chase", recorded among the Land Records of Montgomery County, Maryland as Plat No. 6522, along with the rear of Lot 19, Block 5, Chevy Chase, Section 4, per plat no. 104,

1. North 00°10'57" West, 601.50 feet to a point along the rear of Lot 13, Block 5, Section 4, Chevy Chase as shown on a plat recorded among the Land Records of Montgomery County, Maryland in Plat Book 2, as Plat No. 104; thence, departing the rear of the said Lot 19 and binding along the rear of Lots 13, 12, 11 and 10 of the said Block 5, Section 4, Chevy Chase as shown on a plat recorded among the Land Records of Montgomery County, Maryland in Plat Book 2, as Plat No. 104,
2. South 89°55'19" East, 220.69 feet to an Iron Pipe Found; thence binding along the common boundary line between Lot 10 and Lot 9 as shown on a plat recorded among the Land Records of Montgomery County, Maryland in Plat Book 2, as Plat No. 104,
3. North 00°04'41" East, 120.00 feet to an Iron Rod and Cap set along the southerly right of way line of Thornapple Street; thence binding along the southerly right of way line of Thornapple Street and along the front of Lots 9, 8, 7, 6, 5, 4, 3, and 2, Block 5, Chevy Chase as shown on said plat in Plat Book 2, Plat No. 104,
4. South 89°55'20" East, 535.00 feet to an Iron Rod and Cap set; thence,
5. South 46°32'52" East, 34.37 feet to an Iron Road and Cap set along the westerly right of way line of Connecticut Avenue as shown on the aforementioned plat entitled "Parcel 1 in Block 5, Section 4, Chevy Chase" recorded among the Land Records of Montgomery County, Maryland in Plat Book 88, Plat No. 9401; thence binding along the westerly right of way line of Connecticut Avenue,
6. South 00°08'06" East, 695.00 feet to an Iron Rod and Cap set along the northerly boundary line of the land of David K Berler and Sandra H. Berler, Liber 3532, folio 371; thence binding along said Berler lands along with the northerly boundary line of Lot 16, Block 7, the northerly end of Woodside Place (50' Public Right of Way) and the northerly boundary line Lot 1 and Lot 10, Block 6, Section 4, Chevy Chase as shown on said plat in Plat Book 2, as Plat No. 104,
7. South 89°51'54" West, 780.52 feet to the **Point of Beginning**, containing 535,421 square feet or 12.2916 acres of land, more or less.

This description is the same property described in the Commitment for Title Insurance provided by Stewart Title Guaranty Company, File No. 21-0470 LS and also the same property described in a deed between The National 4-H Club Foundation of America, Incorporated and National 4-H Council dated February 21, 1977 and recorded among the Land Records of Montgomery County, Maryland in Liber 4924, folio 22.



<h1>OPEN SPACE TABLE</h1>	
NET TRACT AREA:	12.29 acres / 535,421 sf
	PUBLIC OPEN SPACE
PUBLIC OPEN SPACE REQUIRED: 53,542 SF (10.00%) PUBLIC OPEN SPACE PROVIDED: 57,895 SF (10.81%)	

PLAT NO. 5401

THORNAPPLE STREET

STREET

OWNER'S DEDICATION

We, The National 4-H Club Foundation of America, Incorporated, a Delaware Corporation by Henry M. Hansen, Chairman Board of Trustees, and Grant A. Shrum, Secretary, Treasurer, owners of the property shown and described hereon, hereby adopt this plan of subdivision, establish the minimum building restriction line, and dedicate the street.

There are no suits of action, leases, liens, mortgages or trusts affecting the property.

Date: August 35 1969



THE NATIONAL 4-H CLUB FOUNDATION OF AMERICA, INCORPORATED

Attest:

Grant A. Shrum
GRANT A. SHRUM,
SECRETARY, TREASURER

Henry M. Hansen
HENRY M. HANSEN, CHAIRMAN
BOARD OF TRUSTEES

SURVEYOR'S CERTIFICATE

I hereby certify that the plan shown hereon is correct; that it is a subdivision of the land conveyed by Chevy Chase Junior College to The National 4-H Club Foundation of America Incorporated by deed dated February 9, 1951 and recorded in Liber 1491 at Folio 177 among the land records of Montgomery County, Maryland. Subject to restrictions of record. Iron pipe shown thus: , and concrete monuments shown thus: , are in place where indicated.

Date: Sept 2, 1969.

John J. Allen Jr.
John J. Allen, Jr.
Registered Land Surveyor, No. 2206

PARCEL 1

Area = 535,200 Sq. Ft.
or 12.2865 Acres

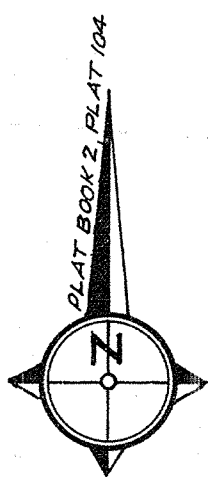
MEADOW

LANE

WOODSIDE PLACE

AVENUE

CONNECTICUT



Dedication for Connecticut Avenue = 13,512'

PARCEL 1 IN BLOCK 5

SECTION 4

CHEVY CHASE

MONTGOMERY COUNTY, MARYLAND

SCALE: 1" = 100'

August, 1969

ALLEN AND KOENIG, Land Planners & Surveyors
4801 MONTGOMERY LANE
BETHESDA, MARYLAND

MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION
MONTGOMERY COUNTY PLANNING BOARD
APPROVED: September 4, 1969
Caroline Freeland CHAIRMAN
Thomas A. Brangan SECRETARY-TREASURER
M.N.C.P. & P.C. RECORD FILE NO. 506-19

RECORDED: _____
PLAT BOOK: _____
PLAT NO.: _____

6756
506-19